

/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - ESHPF-HIM/PROYECTOS/01-14-21-01 RESIDENCIA LIGIA ZAPATA/PLANOS/T-01

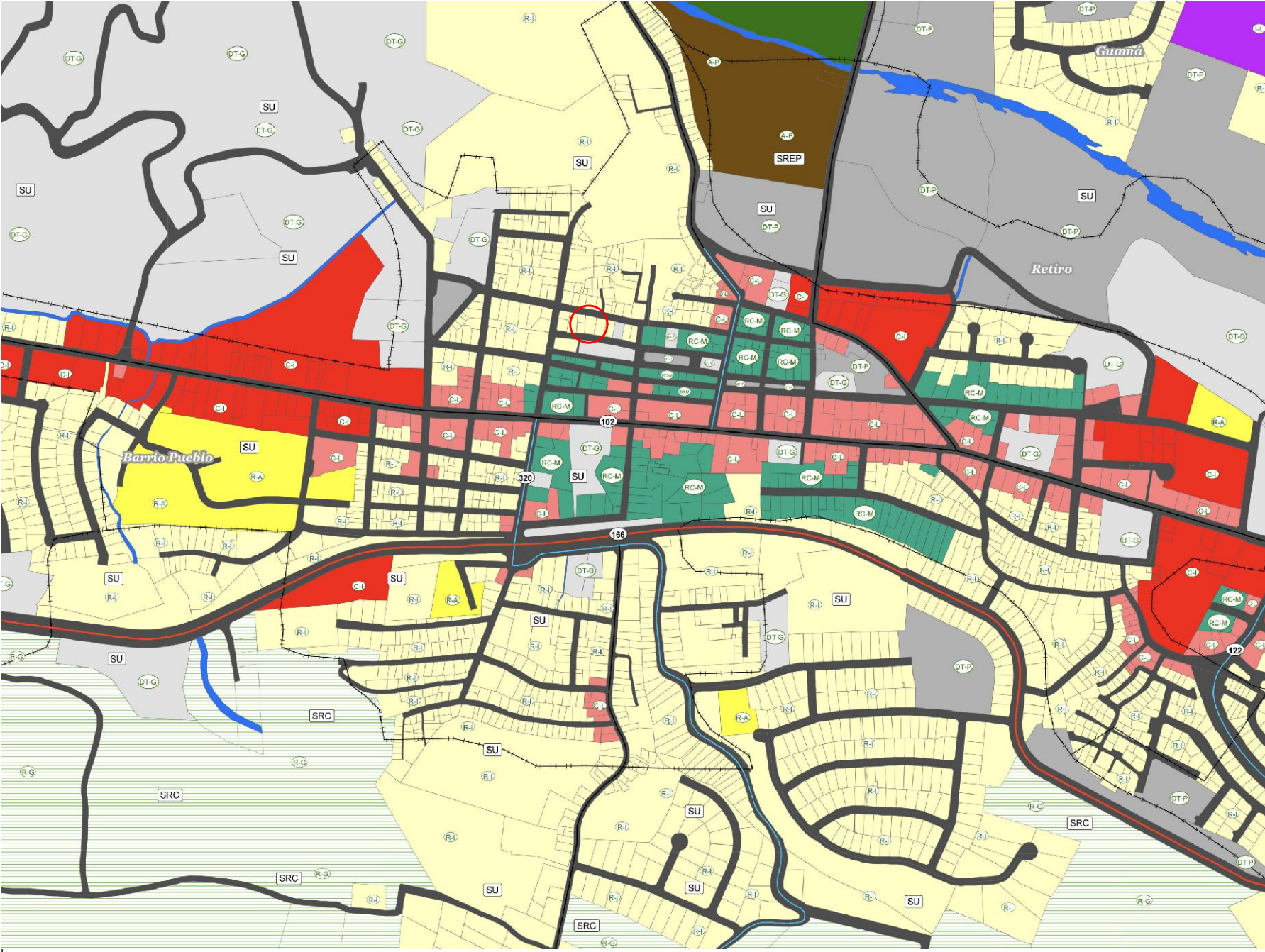
SHPO DELIVERABLES	
Issue	Date
ISSUE FOR REV.	11-23-2022
ISSUE FOR BID.	02-17-2023
ISSUE FOR BID.	04-14-2023



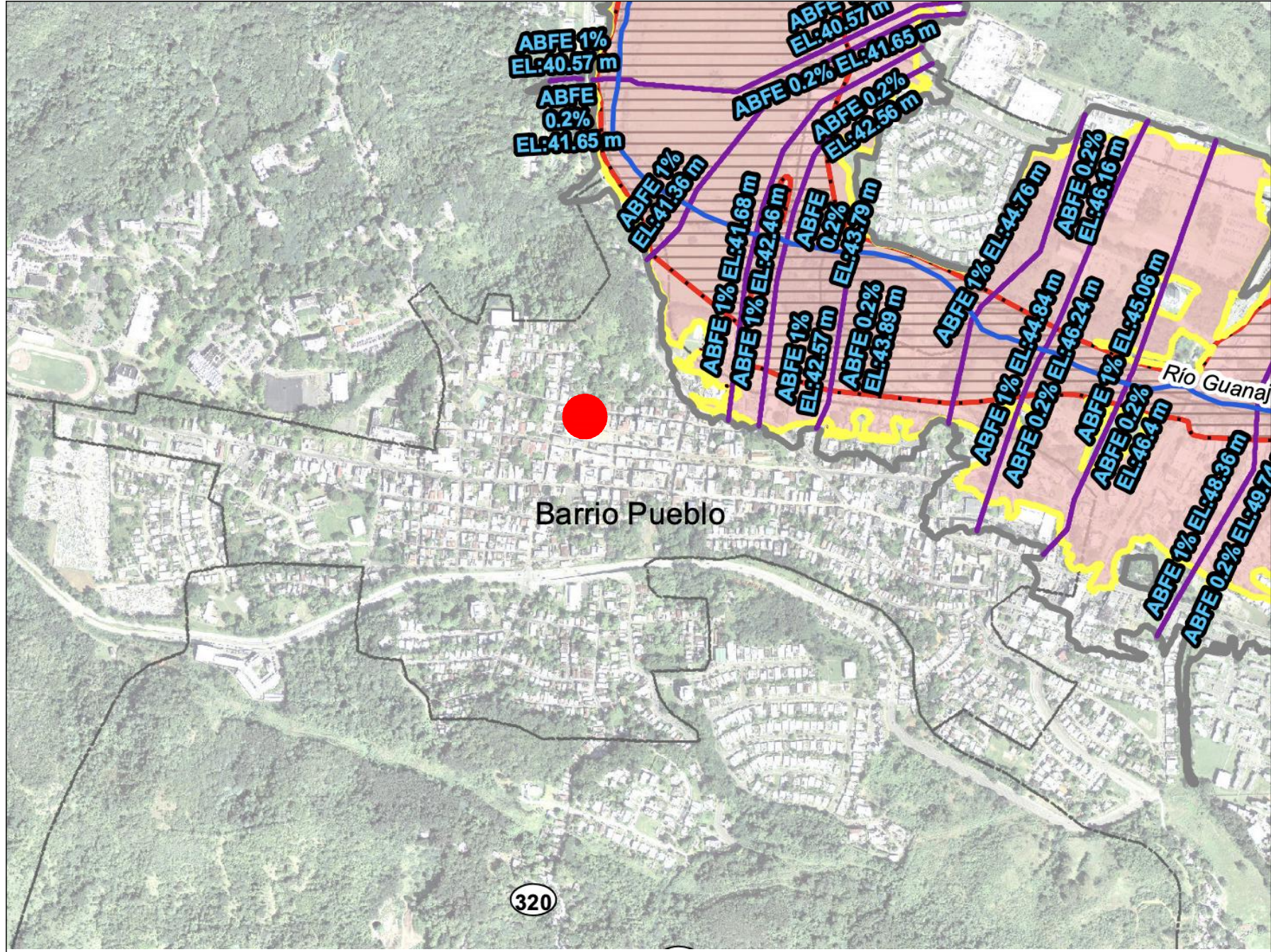
PROPERTY IMAGE
IMAGE TAKEN ON SITE VISIT



LOCATION MAP



MAPA DE CLAFICACIÓN DE SUELOS
PANEL 2A - 2 DE MARZO DEL 2014



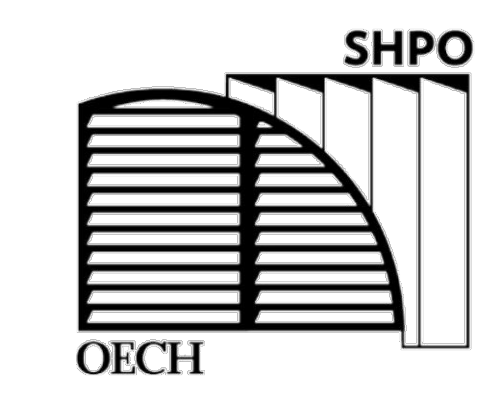
FLOOD MAP
PANEL 355J MAP 72000C0355J - APRIL 13, 2018

RESTAURACIÓN RESIDENCIA LIGIA ZAPATA

CATASTRO 334-023-016-02 3 C. Padres Agustinos, San Germán, 00683



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ZAPATA RESIDENCE
SAN GERMÁN, PUERTO RICO

Architect of Record:
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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y los especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas, Reglamentadoras o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1976, según enmendada, según aplica(s). Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia va sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.

PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

T-01
TITLE SHEET

**ISSUE FOR BIDDING
NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: APR 14, 2023

DEMOLITION NOTES:	
1.	EXISTING CONDITIONS ILLUSTRATED AS OF JUNE 28, 2022
2.	IT IS NOT THE INTENTION OF THE A/E FIRM TO COVER ALL REQUIRED DEMOLITION AND CLEANING WORK IN THESE DRAWINGS, NOR TO ANTICIPATE EVERY CIRCUMSTANCE UNDER WHICH SPECIFIC TASKS SHALL BE PERFORMED. AS THE INTENTION IS TO ILLUSTRATE ONLY THE MOST SIGNIFICANT DEMOLITION WORK IN THE DRAWINGS, THE G.C. SHALL BE RESPONSIBLE FOR VERIFYING WHICH RESTORATION WORKS REQUIRE DEMOLITION.
3.	ALL DEMOLITION WORK NOT SHOWN IN DRAWINGS, BUT NECESSARY TO PERFORM THE ENTIRE SCOPE OF THE PROJECT SHALL BE DONE BY THE GENERAL CONTRACTOR AT NO EXTRA COST AND TIME NO MATTER THE SIZE.
4.	IT IS THE INTENTION OF THE A/E FIRM TO PRESERVE HISTORIC AS MUCH AS POSSIBLE AND ONLY REPLACING MATERIAL WHEN ABSOLUTELY NECESSARY.
5.	CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF ALL ITEMS WITHIN THE PROJECT AREA.
6.	SUBMIT SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR SELECTIVE DEMOLITION WORK TO THE OWNER FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. INCLUDE COORDINATION FOR SHUT-OFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE CONTROL. PROPOSED SEQUENCE OF OPERATION SHALL ENSURE THE INHABITANTS ARE UNDISTURBED.
7.	THE CONTRACTOR, PRIOR TO COMMENCEMENT OF THE WORK, SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE PROJECT'S SITE AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS WHICH MIGHT AFFECT PROPER DEMOLITION AND CONSTRUCTION WORKS SCHEDULE AND/OR PERFORMANCE. THEREFORE, THE CONTRACTOR SHALL CERTIFY THAT HE HAS VISITED THE PROJECT SITE AND FAMILIARIZED HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO ENTERING INTO A CONSTRUCTION AGREEMENT WITH THE OWNER. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
8.	DURING DEMOLITION PHASE AND CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INSTALL EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
9.	IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, G.C. TO STOP WORK IN THAT AREA AND NOTIFY OWNER IN WRITING. G.C. SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
10.	NONE OF THE WALLS TO DEMOLISH ARE REINFORCED CONCRETE. IF THE CONTRACTOR FINDS A REINFORCED CONCRETE WALL DURING THE DEMOLITION, THE CONTRACTOR SHALL STOP CONSTRUCTION IMMEDIATELY AND REPORT TO THE ARCHITECT.
11.	THE OWNER WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL LOOSE ITEMS SUCH AS ARTWORK, FRAMED PICTURES, FURNITURE, ETC...
12.	CONTRACTOR MUST PRESERVE ALL HISTORIC ITEMS INDICATED TO BE REMOVED AND STORE THEM IN A SECURE PLACE UNTIL REVIEW BY A/E FIRM. ITEMS REVIEWED AND APPROVED BY A/E FOR REMOVAL SHALL DISPOSED OF BY THE CONTRACTOR.
13.	ALL ITEMS INDICATED TO BE RELOCATED ARE TO BE CAREFULLY REMOVED, CLEANED, REPAIRED TO A LIKE-NEW CONDITION AND STORED IN A SECURE PLACE UNTIL REINSTALLED AS SHOWN ON CONSTRUCTION PLAN OR RCP.
14.	CONTRACTOR MUST FOLLOW ALL PROPER AND LEGAL PROCEDURES REGARDING WASTE DISPOSAL. G.C. SHALL PROVIDE A/E EVIDENCE OF DISPOSAL AT THE APPROPRIATE LANDFILL SITE.
15.	THE OWNER SHALL BE CONTACTED AND NOTIFIED IMMEDIATELY IF ASBESTOS OR LEAD PAINT ARE FOUND IN ANY AREAS OR STRUCTURES OF THE PROJECT NOT PREVIOUSLY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT.
16.	TRASH AND DEBRIS TO BE REMOVED DAILY. KEEP SITE CLEAN.
17.	ALL SCRAP MATERIAL FROM THE DEMOLITION WORKS SHALL BE LEGALLY DISPOSED.
18.	THE CONTRACTOR SHALL TAKE THE REQUIRED MEASUREMENTS TO CONTROL THE DEMOLITION DUST FROM SPREADING OUTSIDE OF AREAS THAT ARE GOING TO BE INTERVENED.
19.	THE CONTRACT CANNOT STORE SCRAP MATERIALS FROM DEMOLITIONS OUTSIDE OF THE DESIGNATED AREAS. DURING THE PRE-CONSTRUCTION PHASE THE G.C. SHALL CONSULT WITH A/E WHICH ARE THE DESIGNATED AREAS FROM SCRAP MATERIALS.
20.	ALL CONSTRUCTION, DEMOLITION & RENOVATION ACTIVITIES SHALL COMPLY WITH NFPA 241, OSHA AND ANY REGULATION THAT INTERFERES WITH THE HEALTH, WELFARE, AND SAFETY OF HIS EMPLOYEES AND FUTURE BUILDING OCCUPANTS.
21.	G.C. SHALL MAINTAIN ON SITE FIRE EXTINGUISHERS TO PROTECT THE HISTORIC PROPERTY IN THE EVENT OF FIRE.
22.	THE CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL OSHA REQUIREMENTS & NORMATIVES.
23.	EXIT ACCESS AND EXITS ARE TO REMAIN CLEAR AND UNOBSTRUCTED.
24.	ANY PART OF THE WORK AND/OR THE EXISTING BUILDING DAMAGED BY THE DEMOLITION PHASE SHALL BE RESTORED TO ITS ORIGINAL CONDITION ACCORDING TO A/E INSTRUCTIONS AT NO COST TO THE OWNER.
25.	ALL DEMOLITION/CONSTRUCTION WORKS SHALL BE COORDINATED WITH THE OWNER IN ORDER TO PREVENT AND AVOID POSSIBLE CONFLICTS WITH THE OWNER'S NORMAL OPERATING CONDITIONS.
26.	THE CONTRACTOR MUST INCLUDE IN THE ECONOMIC PROPOSAL A DETAILED DESCRIPTION OF THE MEANS AND METHODS THAT WILL BE DONE DURING DEMOLITION PHASE TO MINIMIZE AIR POLLUTION.
27.	GC SHALL BE RESPONSIBLE FOR DEMOLITION MEANS AND METHODS AS WELL AS TO PROVIDE THE NECESSARY BRACING TO GUARANTEE STRUCTURAL STABILITY DURING THE DEMOLITION/REMOVAL PROCESS OF THOSE ELEMENTS INSTRUCTED ON PLANS AND DURING NEW CONSTRUCTION. IN CASE OF ANY STRUCTURAL COLLAPSE OF ANY ELEMENT TO REMAIN, THESE SHALL BE REPLACED USING ORIGINAL MATERIALS, AT NO COST TO OWNER.
28.	THE CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN, SUBMIT & OBTAIN THE CES PLAN APPROVAL IF APPLICABLE.
29.	DURING THE DEMOLITION PROCESS, THE GENERAL CONTRACTOR IS RESPONSIBLE IN MAINTAINING A HEALTHY AIR QUALITY THAT DOES NOT AFFECT THE HEALTH OF HIS EMPLOYEES.
30.	G.C. SHALL PROTECT ALL ITEMS THAT ARE TO REMAIN SUCH AS FLOORS, WALLS, FINISHES, INFRASTRUCTURE, CEILINGS, DOORS, EQUIPMENT, DOOR HINGES, RAILINGS, BALUSTERS, WALL BASES, LAMPS, ETC...
31.	IF ANY OTHER ELEMENT NOT INSTRUCTED IN THIS DRAWINGS IS NEEDED TO BE REMOVED IN ORDER TO FULFILL THE PROJECT SCOPE, G.C. SHALL NOTIFY AND CONFIRM WITH THE ARCHITECT. SUCH WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
32.	IF THE COMPLETION OF NEW ENGINEERING INFRASTRUCTURE REQUIRED ADDITIONAL DEMOLITION BY THE G.C. IN WALLS, CEILINGS AND FLOORS THAT IS NOT EXPLICITLY SHOWN IN DRAWINGS, G.C. SHALL CONTEMPLATE THIS ADDITIONAL DEMO AND THE PATCHING AND REPAIRS REQUIRED TO LEAVE AREA AS NEW.
33.	IF PATCHING AND REPAIRS MAY REQUIRE NEW MOLDINGS, NEW GYPSUM, NEW WALL BASES, NEW A.C.T., NEW FLOORS, AMONG OTHERS, NEW WOOD BASES, TRIMS, MOLDINGS AND CASINGS SHALL HAVE THE LENGTH OF THE ORIGINAL ELEMENT BEING REPLACED. THE INTENTION IS TO MINIMIZE JOIN AND SHORT MEMBERS.
34.	G.C. SHALL DISCUSS WITH ARCHITECT PATH OF NEW INFRASTRUCTURE PRIOR TO DEMOLITION. IN ORDER TO DISCUSS HOW TO MINIMIZE DEMO, PATCHING, AND REPAIRS OF EXISTING WALLS/CEILINGS/FLOORS, G.C. REQUIRES ARCHITECT APPROVAL TO PROCEED WITH DEMOLITIONS.
35.	HISTORIC INTERIORS SHOULD BE PROTECTED FROM POTENTIAL DAMAGE DURING CONSTRUCTION WORK IF ANY DAMAGE DOES OCCUR, THE CONTRACTOR SHALL RESTORE ANY DAMAGE TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
36.	ALL CONTAMINATED MATERIALS IDENTIFIED BY ENVIRONMENTAL HEALTH & SAFETY SERVICES SHALL BE REMOVED AND SHOULD BE DONE AS PER ICA AND EPA REGULATION. G.C. SHALL OBTAIN ALL THE NECESSARY PERMITS TO PERFORM THE WORKS AND LATER SUBMIT TO THE OWNER ALL THE CERTIFICATIONS REQUIRED BY LAW STATING THAT ALL CONTAMINATED MATERIALS WERE REMOVED FROM THE PROJECT AND LEGALLY DISPOSED.
37.	ALL ELECTRICAL WORK SHALL BE DONE BY A LICENCED ELECTRICIAN.
38.	G.C. SHALL ENSURE A SUPERINTENDENT MUST BE PRESENT DURING THE ENTIRE DEMOLITION PROCESS.

GENERAL NOTES:	
1.	THE DRAWINGS AND NOTES COMPLY, TO THE BEST OF OUR KNOWLEDGE WITH THE APPLICABLE MINIMUM BUILDING CODE.
2.	THE DRAWINGS DEMOLITION SHOWN ARE A GUIDE FOR THE RESTORATION AND DOES NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GC TO CORRELATE DEMO AND REPAIRS/NEW CONSTRUCTION.
3.	DIMENSIONS ON DRAWING MAY VARY SLIGHTLY.
4.	DUE TO THIS BEING A HISTORIC BUILDING, NOT ALL WINDOWS AND DOORS ARE IDENTICAL IN THEIR DIMENSIONS. THE G.C. SHALL BE RESPONSIBLE FOR THE WINDOW/ DOOR REPLACEMENTS TO FIT IN THEIR ORIGINAL LOCATION.
5.	ALL PLAN DIMENSIONS TAKE PRECEDENCE OVER THE SCALING OF THE PLANS. THE DIMENSIONS ARE CALCULATED AND ANNOTATED BY COMPUTER AND ROUNDED TO THE NEAREST INCH. LOCATING PARTITIONS TO CENTERLINE OF MULLIONS (WHERE APPLICABLE) SHALL TAKE PRECEDENCE OVER GIVEN DIMENSIONS.
6.	ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE LOCAL BUILDING CODE AND ALL APPLICABLE ORDINANCES AND PROVISIONS.
7.	THE CONTRACTOR SHALL SUBMIT WITH HIS BID PROPOSAL A COMPLETE CONSTRUCTION SCHEDULE TO THE OWNER, WHICH COORDINATES ALL WORK WITH SUPPLIERS AND SUB-CONTRACTORS.
8.	THE ARCHITECT AND ENGINEER DO NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING WORK OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9.	EACH CONTRACTOR & SUBCONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE AND SHALL PROVIDE OWNER WITH A VALID CERTIFICATE.
10.	ALL CONTRACTORS SHALL PROTECT THE WORK OF OTHER TRADES. ANY & ALL CONFLICTS BETWEEN TRADES ARE TO BE COORDINATED BY THOSE TRADES AND NOTIFICATION OF SUCH CONFLICTS MADE TO THE ARCHITECT AND THE OWNER. ANY DAMAGES SHALL BE REPAIRED BY THE RESPONSIBLE PARTY AT HIS EXPENSE.
11.	THE CONTRACTOR SHALL EXAMINE ALL AREAS IN WHICH WORK IS TO BE CONSTRUCTED AND SHALL REPORT ANY SUCH WORK WHICH IS NOT IN SUITABLE CONDITION TO RECEIVE WORK UNDER THIS CONTRACT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF THE FINISHED WORK AFTER THE WORK UNDER THIS CONTRACT IS STARTED.
12.	THE CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL VERIFY ARCHITECT'S DIMENSIONS AND DETAILS PRIOR TO INITIAL BID SUBMITTAL. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, DISCREPANCIES AND/OR CONFLICTS IN CONSTRUCTION DOCUMENTS, BEFORE BID SUBMITTAL, WHICH WOULD INTERFERE COMPLETION OF THIS WORK OR WHICH WOULD AFFECT THE BID PRICE. ALL DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER PRIOR TO FINAL BID SUBMITTAL SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. DISCREPANCIES IN DRAWINGS SHALL BE DECIDED BY THE ARCHITECT.
13.	ALL WORK IS TO CONFORM TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS. ANY CONDITIONS IN THE FIELD AFFECTING THE DESIGN CONCEPT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SUBMITTAL.
14.	ALL WORK SHALL BE LIMITED TO THAT SHOWN ON THE PERMIT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND ARCHITECT. ANY ADDITIONAL WORK PERFORMED WITHOUT THIS CONSENT SHALL BE DONE AT THE CONTRACTOR'S SOLE EXPENSE. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN, EXISTING AND/OR NOTED.
15.	GENERAL CONTRACTOR SHALL HAVE A SUPERVISOR ON SITE WHILE ANY WORK IS BEING DONE.
16.	PROVIDE AND MAINTAIN AT A CONVENIENT LOCATION WITHIN THE JOB SITE, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT DOCUMENTS INCLUDING ALL THE LATEST SHOP DRAWINGS, ADDENDUMS, REVISIONS AND SUPPLEMENT SHEETS FOR REFERENCE AND COORDINATION FOR CONSTRUCTION.
17.	THE G.C. SHALL BE RESPONSIBLE TO ALWAYS HAVE AVAILABLE WITHIN THE JOB SITE THE DIGITAL INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
18.	THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE WEATHER AS TO MAINTAIN THE WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE. ANY WORK DAMAGED BY FAILURE OF THE CONTRACTOR TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT CONTRACTORS EXPENSE.
19.	ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE SIGNED BY OWNER AND ARCHITECT PRIOR TO EXECUTION.
20.	CONTRACTOR SHALL COORDINATE AND EXPEDITE THE PROCUREMENT OF "LONG LEAD" ITEMS TO ASSURE PROMPT DELIVERY AND INSTALLATION BY MILESTONE DATES ON THE CONSTRUCTION SCHEDULE. ADDITIONAL TIME WILL NOT BE GIVEN TO THE G.C. IF THEY HAVE NOT MET THE SCHEDULED INSTALLATION TIME FOR THESE ITEMS. THE CONTRACTOR SHALL PURCHASE, COORDINATE & INSTALL ALL APPLIANCES AND EQUIPMENT UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMIT DRAWINGS. SPECIFICATIONS AND INSTALLATIONS METHODS PROVIDED BY MANUFACTURE SHALL BE STRICTLY FOLLOWED AND ARE HEREWITH MADE A PART OF THESE DOCUMENTS.
21.	CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL OR MECHANICAL EQUIPMENT MAINTENANCE, INSTRUCTION MANUALS, AND ALL OTHER CLOSE-OUT DOCUMENTS TO THE OWNER FOR REVIEW AT FINAL COMPLETION.
22.	ALL WORK SHALL BE DONE IN A NEAT AND SKILLFULL MANNER AND IN ACCORDANCE WITH ALL GOVERNING BODIES, RULES, AND REGULATIONS. REMOVE RUBBISH AND DEBRIS DAILY, LEAVE JOB CLEAN UPON COMPLETION OF WORK, INCLUDING CLEANING OF HARDWARE, FIXTURES, AND GLASS, AND REMOVING OF STAINS, DUST, DIRT, AND PAINT, AND POLISHING OF ALL FINISHED FLOORS AND CABINETRY.
23.	ALL MATERIALS & EQUIPMENTS SHALL BE INSTALLED AS PER MANUF. RECOMMENDATION AND THE BEST PRACTICES OF THE INDUSTRY.
24.	G.C. SHALL ALWAYS FOLLOW MANUFACTURER RECOMMENDATIONS FOR THE MANAGE, QUALITY, INSTALLATION AND/OR CONSTRUCTION OF ANY MATERIAL, EQUIPMENT, SYSTEM AND/OR ELEMENT CONTAIN ON THE PROJECT.
25.	GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
26.	CONTRACTOR IS NOT ALLOW TO CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD REDUCE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO.
27.	OBTAIN APPROVAL FROM OWNER BEFORE CUTTING AND PATCHING THE FOLLOWING OPERATING BUILDING ELEMENTS OR SAFETY RELATED SYSTEMS: PRIMARY OPERATIONAL SYSTEMS AND EQUIPMENT. AIR OR SMOKE BARRIERS, FIRE PROTECTION SYSTEMS, CONTROL SYSTEMS, COMMUNICATION SYSTEMS, AND ELECTRICAL WIRING SYSTEMS.
28.	THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND ALL VENDORS ARE TO VERIFY ALL CLEARANCES (CORRIDORS, STAIRS, ELEVATORS, ETC.) REQUIRED FOR DELIVERIES, PASSAGE OF ALL JOB MATERIALS OR EQUIPMENT. THE OWNER'S PROJECT MANAGER SHALL BE INFORMED OF ANY POTENTIAL OR ACTUAL PROBLEMS WHICH, IN ANY WAY, MIGHT AFFECT WORK, SCHEDULING, ANY VENDORS, SUBCONTRACTORS, ETC. INCLUDING AFTER HOURS DELIVERIES IMPOSED BY OWNER.
29.	THE CONTRACTOR SHALL INCLUDE ALL TEMPORARY UTILITIES (IF APPLICABLE) INCLUDING ELECTRICITY, WATER AND TELEPHONE IN HIS BIDS.
30.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RE-DOING ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS, AND CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR FROM DATE OF MOVE-IN. THESE PROVISIONS APPLY, ALSO, TO WORK DONE BY DIRECT EMPLOYEES OF THE CONTRACTOR, SUB-CONTRACTORS OR VENDORS. NOTHING IN THE ABOVE INTENDS OR IMPLIES THAT THIS GUARANTY SHALL APPLY TO WORK WHICH HAS BEEN ABUSED OR NEGLECTED BY THE OWNER OR HIS SUCCESSOR IN INTEREST.
31.	ALL METAL WELDING SHALL BE CONTINUOUS AND SANDED FOR SMOOTH FINISH.
32.	ALL METAL MATERIALS THAT REQUIRED SCREWS OR BOLTS SHALL USE THE METAL MATERIAL IN KIND.
33.	ARCHITECT HAS FINAL WORDS OF CONFLICTING INSTRUCTIONS IN DRAWINGS. IF G.C. FINDS CONFLICTING INSTRUCTIONS G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO CREATING WORK, FOR ARCHITECT DECISION.
34.	ALL CONSTRUCTION SITE SHALL BE EXTREMELY VACUUMED AND CLEANED BEFORE FINAL DELIVERY TO OWNER. NO DUST WILL BE ACCEPTED.
35.	ONCE THE WORK IS COMPLETED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SUBMIT DIGITAL AS-BUILT PLANS TO THE ARCHITECT.
36.	NO STRUCTURAL MEMBER SHALL BE NOTCHED, CUT, ALTERED OR MOVED IN ANY WAY WITHOUT PREVIOUS WRITTEN AUTHORIZATION FROM ARCHITECT OR STRUCTURAL ENGINEER. THERE SHALL BE NO PENETRATIONS IN PRE-STRESSED BEAMS OR JOISTS AND NO DRILLING OR SHOOTING HANGERS OR PINS IN PRE-STRESSED BEAMS OR PRE-CAST JOISTS.
37.	IF G.C. ENCOUNTERS MOLD, FUNGUS, TERMITE, AND/OR ANY HAZARD MATERIAL, THEY SHALL SUBMIT A WRITTEN REPORT WITH PICTURES AND IDENTIFY IN A FLOOR PLAN THE LOCATIONS AND SEND TO THE ARCHITECT VIA EMAIL IMMEDIATELY.
38.	FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.
39.	G.C. SHALL BE RESPONSIBLE FOR ENSURING THEY RECEIVED THE ASBESTOS AND LEAD REPORTS DURING THE BIDDING PHASE. G.G. SHALL BE RESPONSIBLE FOR CONSIDERING THE PROJECT REQUIREMENTS THESE REPORTS CREATE AND INCLUDE IT IN THEIR BID PROPOSAL.
40.	GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.

IMPORTANT NOTE:
IT IS RECOMMENDED THAT THE CONSTRUCTION DRAWING SET BE PRINTED IN COLOR AS SOME OF THE PAGES USE COLOR AS A WAY OF DISPLAYING IMPORTANT INFORMATION.

IMPORTANT NOTE
G.C. SHALL CONSIDER THAT ON ALL NOTES, THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

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SCOPE OF WORK	
1.	PAINT ENTIRE EXTERIOR/ PORTION OF INTERIOR WALL.
2.	REPAIR PLASTER ON EXTERIOR/ INTERIOR WALL.
3.	REPLACE MOLDING ON BALCONY CEILING.
4.	REPAIR ROOF GUTTER ON BALCONY ROOF & DOWNSPOUT.
5.	REPLACE EXISTING BALCONY LIGHTING FIXTURE.
6.	REFINISH EXISTING WOODEN DOORS & WINDOWS.
7.	INSTALL 2 NEW WINDOWS & METAL PANELS.
8.	REPAIR DAMAGED PORTIONS OF INTERIOR WOOD FLOORING & WALL.
9.	CRYSTALLIZE BALCONY EXTERIOR TILES & A PORTION OF THE INTERIOR FLOOR TILES.
10.	REPLACE ENTIRE METAL ROOF (INCL. ENTIRE ROOFING AREA) / WATERPROOF.
11.	PAINT INTERIOR ELEMENTS
12.	PROVIDE AND INSTALL SMOKE DETECTORS
13.	PROVIDE AND INSTALL WOOD RAFTERS
NOTE: TASKS MARKED IN RED IN THIS SECTION REFER TO ALTERNATES AND ARE NOT PART OF THE BASE SCOPE OF WORK.	
NOTE: THIS SCOPE OF WORK TABLE IS ONLY FOR THE PURPOSE OF GUIDING THE G.C. IN UNDERSTANDING THE SCOPE AND SHALL IN NO WAY TAKE PRECEDENCE OVER THE DETAILED INSTRUCTIONS INCLUDED IN HE CONSTRUCTION DRAWINGS AND NOTES.	



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la inversión por la industria puertorriqueña" y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique]. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OPR.

PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
△		
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Drawn by

GM | EM | CB | LR

Reviewed by

vv

SHEET TITLE AND NUMBER:

T-02

GENERAL NOTES AND INDEX

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

By: V.M.V. DATE: APR 14, 2023



Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR

Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR



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PROFESSIONAL TEAM:

Víctor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

[illegible]

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SHEET TITLE AND NUMBER

EX - 01

EXISTING FIRST FLOOR PLAN

ISSUE FOR BIDDING
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BY: V.M.V. DATE: APR 14, 2023

The diagram shows a 2x2 grid of boxes. The top-left box is labeled 'CX', the top-right 'WX', the bottom-left 'FX', and the bottom-right 'BX'. Arrows point from text labels to each box: 'DENOTES CEILING TYPE' points to 'CX', 'DENOTES WALL TYPE' points to 'WX', 'DENOTES BASE TYPE' points to 'BX', and 'DENOTES FLOOR TYPE' points to 'FX'.

CX	WX
FX	BX

DENOTES CEILING TYPE

DENOTES WALL TYPE

DENOTES BASE TYPE

DENOTES FLOOR TYPE

- CA - WOOD BEADED PANEL
- CB- TONGUE AND GROOVE WOOD PLANKS
- CC- EXPOSED WOOD STRUCTURE
- CD- EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
- CE- CONCRETE
- CF- WOOD BEADED BOARDS
- CG- WOOD BOARDS
- CH- ACOUSTIC CEILING TILES
- CI - WOOD PLAYWOOD PANEL

- WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS
- WB - VERTICAL WOOD PLANKS
- WC - TONGUE AND GROOVE WOOD PLANKS
- WD - PLAYWOOD PANELS
- WE - VERTICAL WOOD BEADED PANELS
- WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES
- WG - WOOD DROP SIDING
- WH - VERTICAL WOOD BEADED BOARDS
- WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD BOARDS
- WJ - BRICK WALL WITH PLASTER FINISH
- WK - BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.
- WL - EXPOSED CONCRETE BLOCKS
- WM - CONCRETE BLOCKS WITH PLASTER FINISH
- WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD BOARDS
- WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.

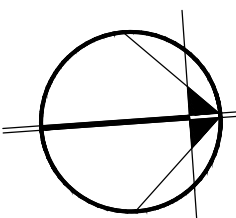
- FA - WOOD PLANKS
- FB - PLYWOOD PANELS
- FC - CERAMIC TILE
- FD - VINYL TILE
- FE - VINYL ROLL
- FF - EXPOSED CONCRETE
- FG - TONGUE AND GROOVE WOOD PLANKS
- FH - NATIVE TILES
- FI - CARPET
- FJ - EXPOSED WOOD STRUCTURE
- FK - BRICK

BA- NO WALL BASE
BB- WOOD BASE

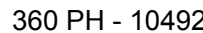
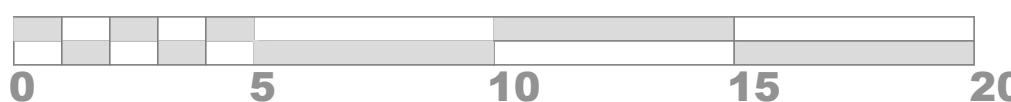


REFERS TO PHOTO ON
RESTORATION PHOTOS SHEET

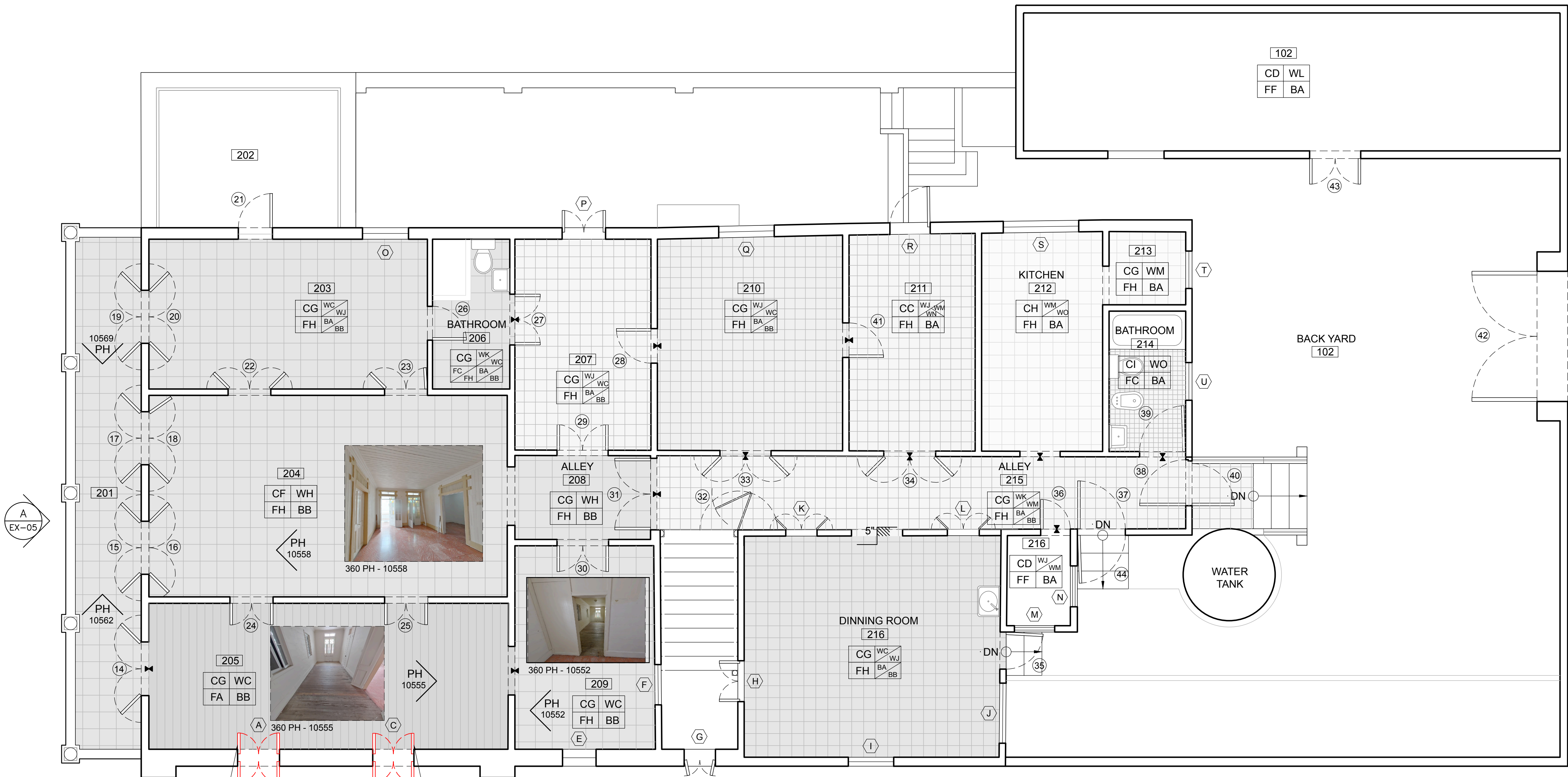
IF THIS DRAWING IS ON ITS ORIGINAL PDF
FORMAT, TAP OR PRESS LEFT CLICK THE
IMAGES ON THE DRAWING TO EXPAND IMAGE
TO SEE THE IMAGE ON 360 VIEW OR A VIDEO
FORMAT.



Scale: 1/4"=1'-0" (if printed on 24"x36")

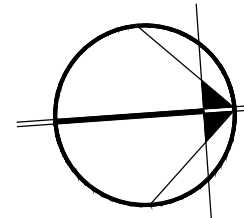


NOTE:
ELEMENTS SHOWN IN RED SHALL
BE REMOVED. SEE SPECS.



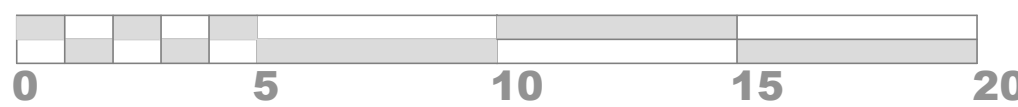
EXISTING CORRODED WINDOW METAL PANELS AND INTERIOR SCREEN TO BE REMOVED.

EXISTING CORRODED WINDOW METAL PANELS AND INTERIOR SCREEN TO BE REMOVED.



EXISTING SECOND FLOOR PLAN

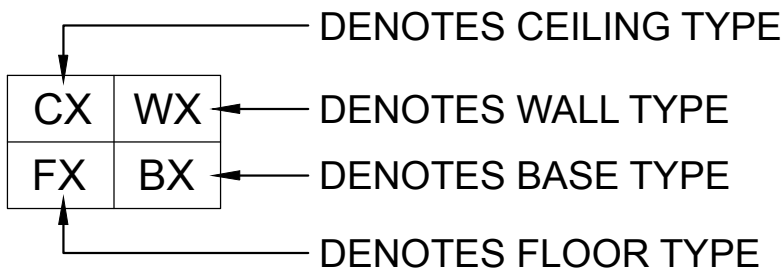
Scale: 1/4"=1'-0" (if printed on 24"x36")



IMPORTANT NOTE:

IF THIS DRAWING IS ON ITS ORIGINAL PDF FORMAT, TAP OR PRESS LEFT CLICK THE IMAGES ON THE DRAWING TO EXPAND IMAGE TO SEE THE IMAGE ON 360 VIEW OR A VIDEO FORMAT.

LEGEND:



CEILING TYPE

CA - WOOD BEADED PANEL
CB- TONGUE AND GROOVE WOOD PLANKS
CC- EXPOSED WOOD STRUCTURE
CD- EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
CE- CONCRETE
CF- WOOD BEADED BOARDS
CG- WOOD BOARDS
CH- ACOUSTIC CEILING TILES
CI - WOOD PLAYWOOD PANEL

WALL TYPE

WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS
WB - VERTICAL WOOD PLANKS
WC - TONGUE AND GROOVE WOOD PLANKS
WD - PLYWOOD PANELS
WE - VERTICAL WOOD BEADED PANELS
WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES
WG - WOOD DROP SIDING
WH -VERTICAL WOOD BEADED BOARDS
WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD BOARDS
WJ - BRICK WALL WITH PLASTER FINISH
WK - BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.
WL - EXPOSED CONCRETE BLOCKS
WM - CONCRETE BLOCKS WITH PLASTER FINISH
WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD BOARDS
WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.

FLOOR TYPE

FA - WOOD PLANKS
FB - PLYWOOD PANELS
FC - CERAMIC TILE
FD - VINYL TILE
FE - VINYL ROLL
FF - EXPOSED CONCRETE
FG- TONGUE AND GROOVE WOOD PLANKS
FH - NATIVE TILES
FI - CARPET
FJ - EXPOSED WOOD STRUCTURE
FK - BRICK

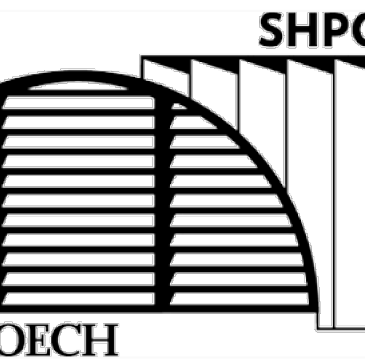
WALL BASE TYPE

BA- NO WALL BASE
BB- WOOD BASE

PH
xxxx
REFERS TO PHOTO ON RESTORATION PHOTOS SHEET



NATIONAL PARK SERVICE

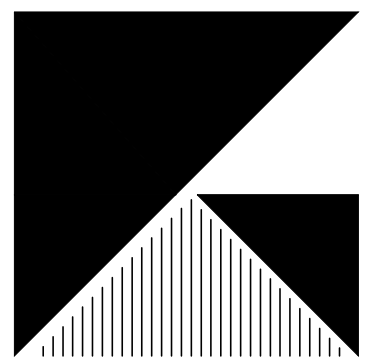


STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE

SAN GERMAN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR.



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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
△		
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

EX - 02

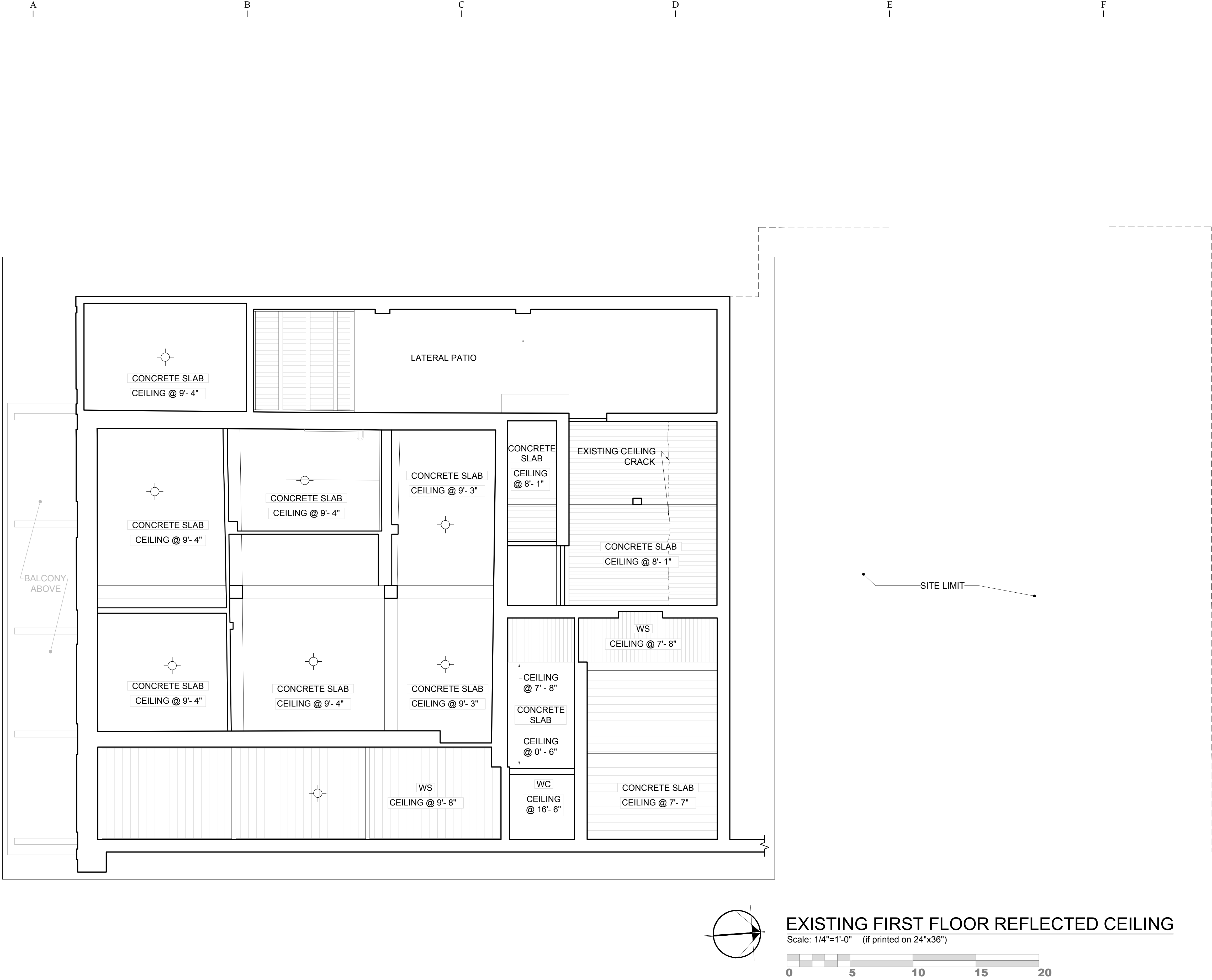
EXISTING SECOND FLOOR PLAN

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

NOTE:
ELEMENTS SHOWN IN RED SHALL BE REMOVED. SEE SPECS.

NOTE:
ELEMENTS SHOWN IN RED SHALL
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- LEGEND:**
- DENOTES ELEVATION
 - DENOTES BUILDING SECTION
 - DENOTES DETAIL NUMBER
 - LIGHT OUTPUT, LIGHT BULB
 - PENDANT LIGHT
 - WS** WOOD STRUCTURE
 - WC** WOOD CEILING
 - ACT** ACOUSTIC CEILING TILES



NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

Architect of Record:
Victor M Villegas, A.I.A
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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
		
		
		
		
		
		

Drawn by	Reviewed by
GM EM CB LR	VV

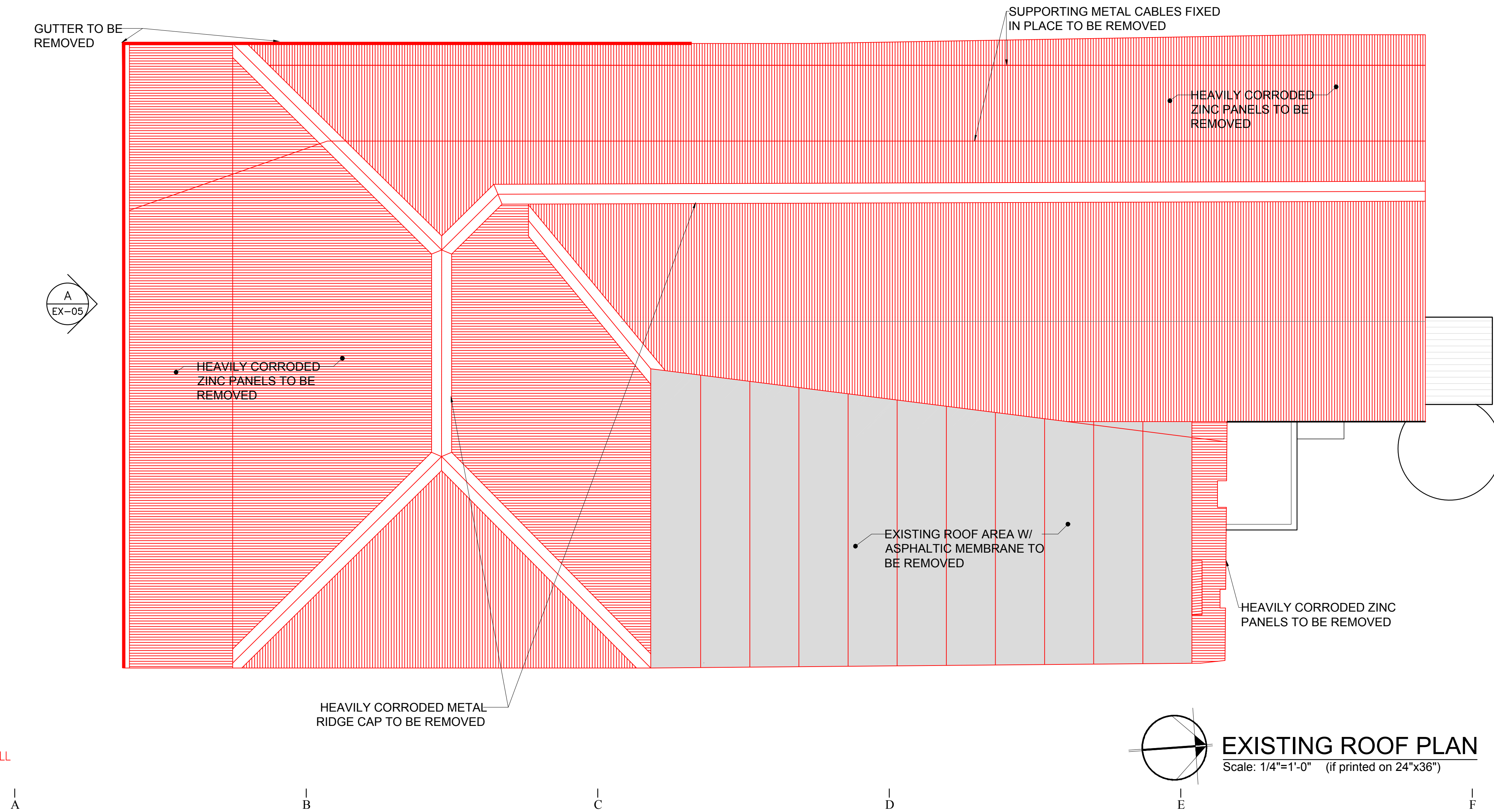
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EX - 03


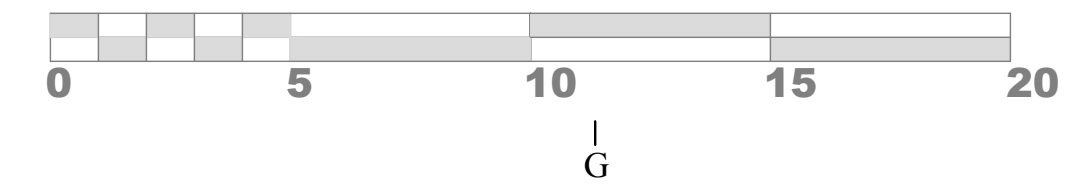
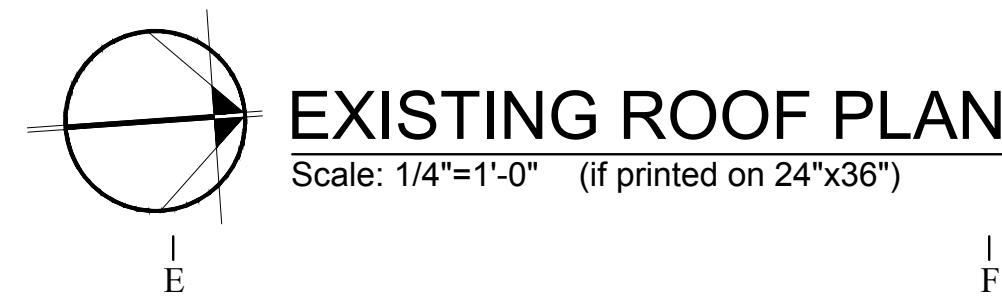
EXISTING FIRST FLOOR
REFLECTED CEILING

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BY: V.M.V. DATE: APR 14, 2023



Scale: 1/4"=1'-0" (if printed on 24"x36")



SHPO

Dr. Victor M. Villegas Durán, Lic. #11445, planifica y dirige al profesional que diseñó estos certificados y las especificaciones complementarias. También, certifica que el presente documento es una copia fiel de las disposiciones aplicables del Reglamento Conjunto de disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas y Comités de la Ley Núm. 114, de 1978, y de la Ley Núm. 115, de 1978, y que, en la preparación de estos pilares y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 114, de 1978, y en la Ley Núm. 115, de 1978, como la Ley para el nivel por la Industria Puertorriqueña y la Ley Núm. 31, de 15 de mayo de 1978, según enmendado; Ley Núm. 9, de 6 de julio de 1978, según enmendado; según aplicable a la presente Resolución.

De los hechos que se ha producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, hacen responsable a la Administración Judicial y disciplinaria por la OGP.

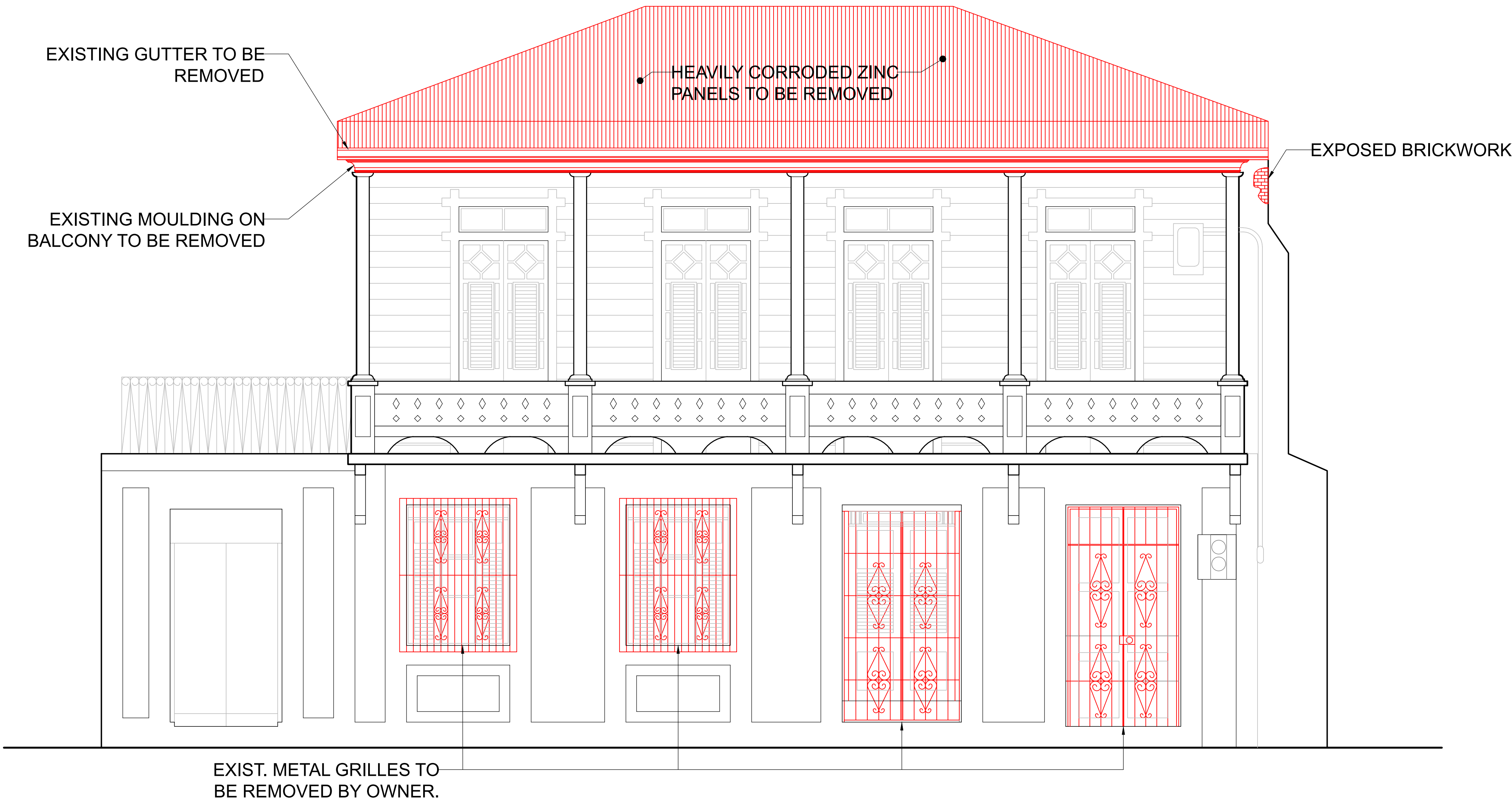
Víctor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

Drawn by	Reviewed
GM EM CB LR	VV

EX - 04

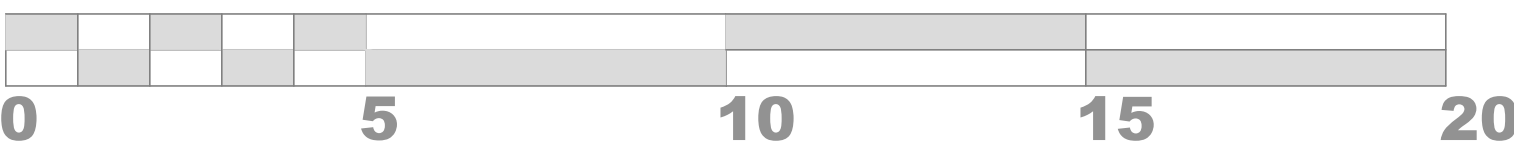
BY: V.M.V. DATE: APR 14, 2023

NOTE:
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BE REMOVED. SEE SPECS.

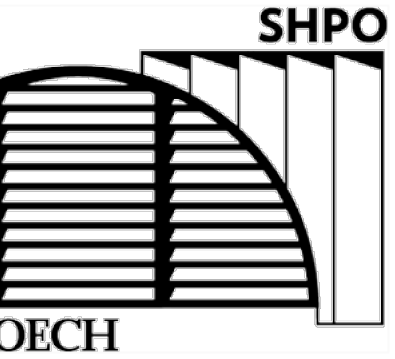


EXISTING ELEVATION

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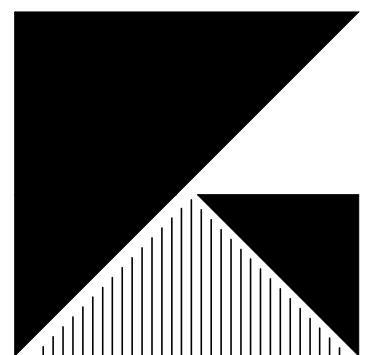
NATIONAL PARK SERVICE



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OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE
SAN GERMÁN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A.
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arquitectospr@arquiteq.com

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PROFESSIONAL TEAM:

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Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
△		
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

EX - 05

EXISTING ELEVATION

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BY: V.M.V. DATE: APR 14, 2023

A
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B
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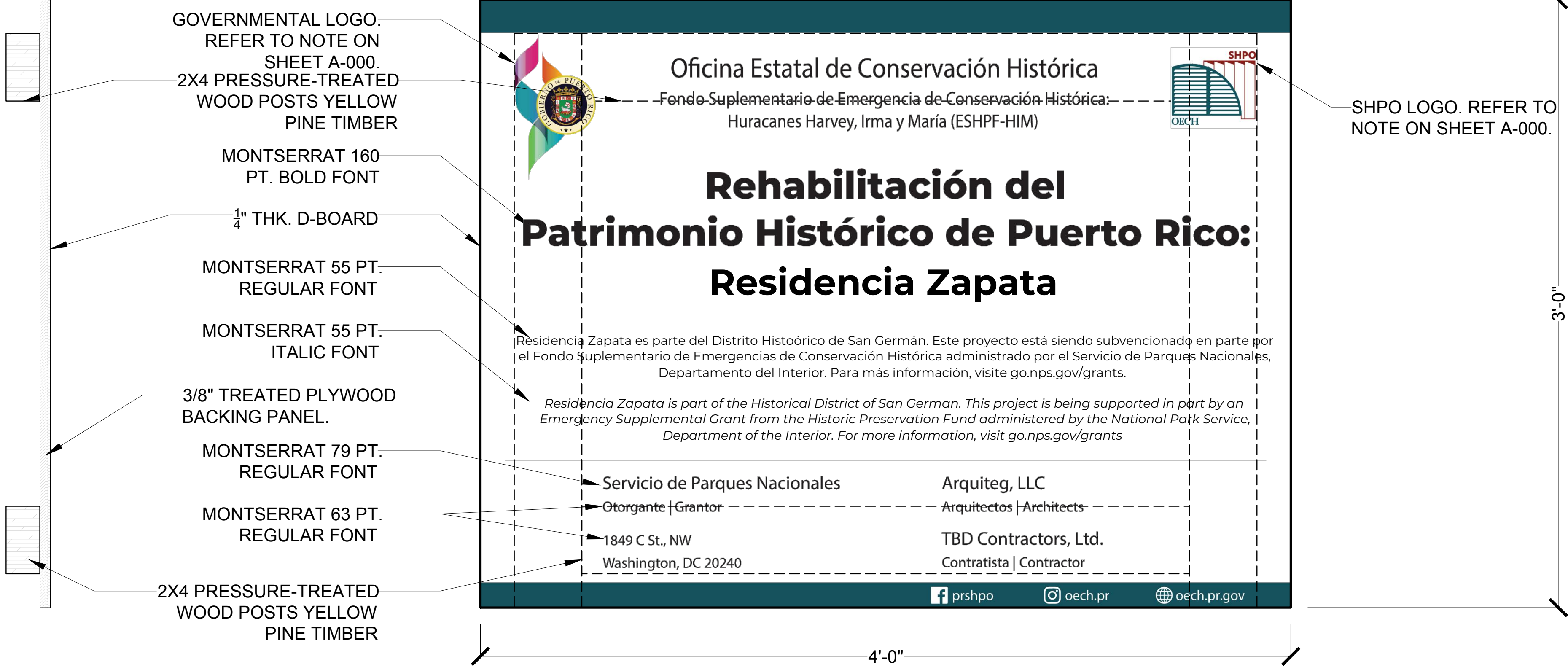
E
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F
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G
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NOTE:
THE POINTS MENTIONED ON THE CONSTRUCTION
BANNER DETAIL INDICATE TEXT SIZE.

NOTE:
G.C. WILL RECEIVE THE BANNER ART AS A SEPARATE
PDF FILE. THE BANNER SHALL BE PRINTED ON 1/4"
THK. D-BOARD OVER A WOODEN PRESSURE
TREATED WOODEN PANEL.

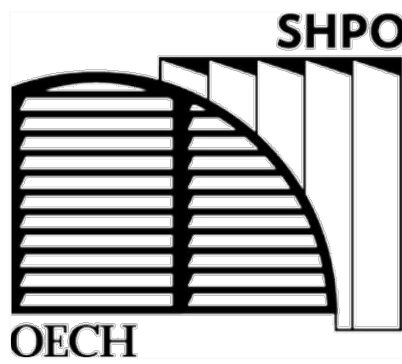


CONSTRUCTION BANNER SECTION
scale: N.T.S. (if printed on 24"x36")

CONSTRUCTION BANNER ELEVATION
scale: N.T.S. (if printed on 24"x36")



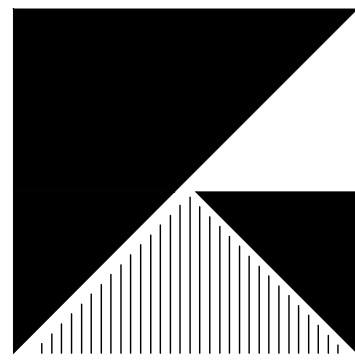
NATIONAL PARK SERVICE



STATE HISTORIC
PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE
SAN GERMÁN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.L.A
Registration No. 11445 PR.



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PROFESSIONAL TEAM:

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Laurie S. Rivera

No.	Issue	Date
△		
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△		
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-000

CONSTRUCTION BANNER DETAIL

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

A
|

B
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C
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D
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E
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F
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G
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SPECIAL NOTE
THE SCOPE OF THIS PROJECT DOES NOT INCLUDE DOING SPECIFIC WORK RELATING TO ADDING ELECTRICAL DEVICES AND/OR UPDATING THE ELECTRICAL SYSTEM SO THAT THEY ARE IN COMPLIANCE WITH CURRENT CODES, HOWEVER IF IN THE PROCESS OF ATTENDING THE REPAIRS THE CONTRACTOR SEES IN THE NEED TO DISCONNECT AND RECONNECT ANY ELECTRICAL RUNNING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ATTEND IT AT ITS COST AND IN COMPLIANCE WITH NEC REGULATIONS.

WEATHERSTRIP FOR EXTERIOR DOORS
G.C. SHALL INSTALL A 1.5 IN. X 84 IN. TALL WHITE SPRING-LOADED DOOR SET WEATHER STRIP ON THE BOTTOM OF THE DOORS BY FROST KING, OR EQUIVALENT, AND CUT TO SIZE.

NOTE:
ALL DIMENSIONS MUST BE VERIFIED ON SITE.

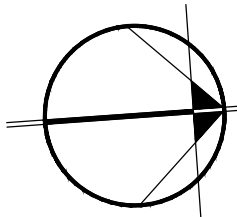
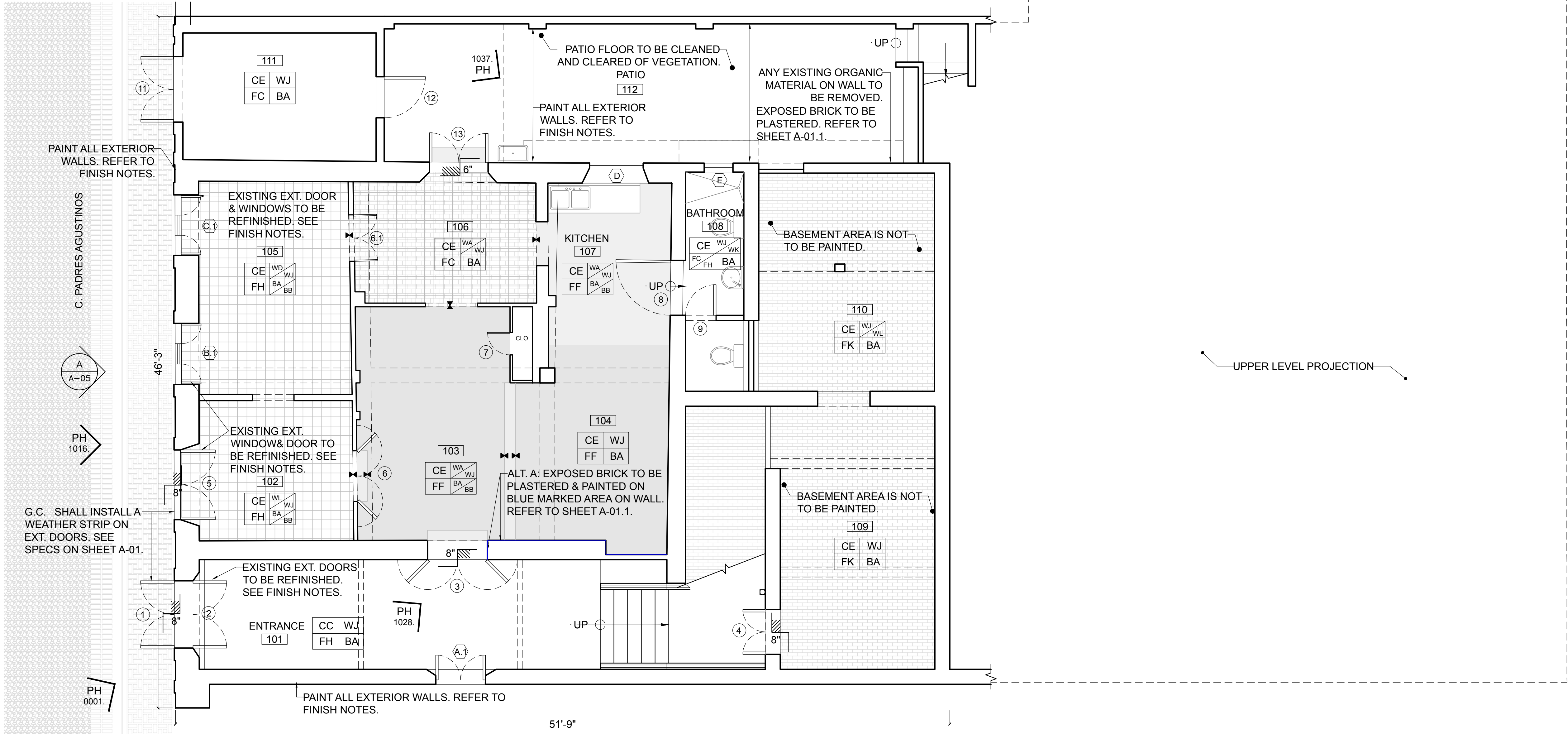
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

LEGEND:

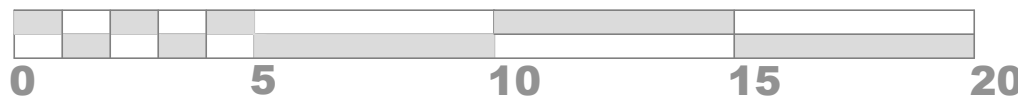
- DENOTES CHANGE OF FLOOR PATTERN
- DENOTES DOOR TYPE
- DENOTES WINDOW TYPE
- CHANGE IN LEVEL
- DENOTES ELEVATION
- DENOTES BUILDING SECTION
- DENOTES DETAIL NUMBER
- REFERS TO PHOTO ON RESTORATION PHOTOS SHEET

IMPORTANT NOTE:
G.C. SHALL BE RESPONSIBLE FOR PAINTING ALL EXISTING EXTERIOR WOOD DOORS & WINDOWS. WINDOWS THAT ARE TO BE INSTALLED NEW SHALL ALSO BE PAINTED. SEE SPECS.

IMPORTANT WINDOW & DOOR NOTE:
G.C. SHALL BE RESPONSIBLE FOR REMOVING EXISTING PAINT AND REPAINTING ALL EXISTING EXTERIOR WINDOWS AND DOORS IN THE MAIN FACADE IN FRONT OF STREET PADRES AGUSTINOS.



RESTORATION FIRST FLOOR PLAN
Scale: 1/4"=1'-0" (if printed on 24"x36")



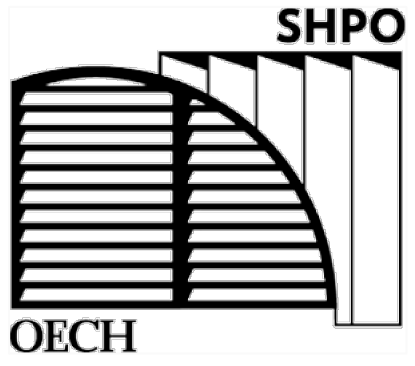
ALTERNATE A
G.C. SHALL CONSIDER AS PART OF ALTERNATE A THE REPAIR OF AN INTERIOR WALL WITH EXPOSED BRICK MARKED ON THE DRAWINGS. AFTER SURFACE HAS BEEN REPAIRED, IT SHALL BE PAINTED TO MATCH THE EXISTING COLOR. SEE SPECS.

ALTERNATE D
G.C. SHALL CONSIDER AS PART OF ALTERNATE D THE PAINTING OF ALL EXISTING INTERIOR ARCHITECTURAL ELEMENTS, SUCH AS BUT NOT LIMITED TO: WALLS, CEILINGS, WOOD DOORS & WINDOWS, WOOD DOORS AND WINDOW FRAMES. PLEASE REFER TO PAINT SPECS ON FINISHES NOTES.

NOTE:
ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.



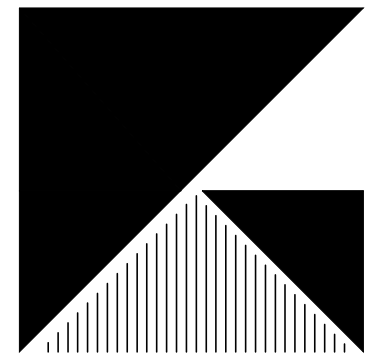
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SAN GERMÁN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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SHEET TITLE AND NUMBER:

A - 01

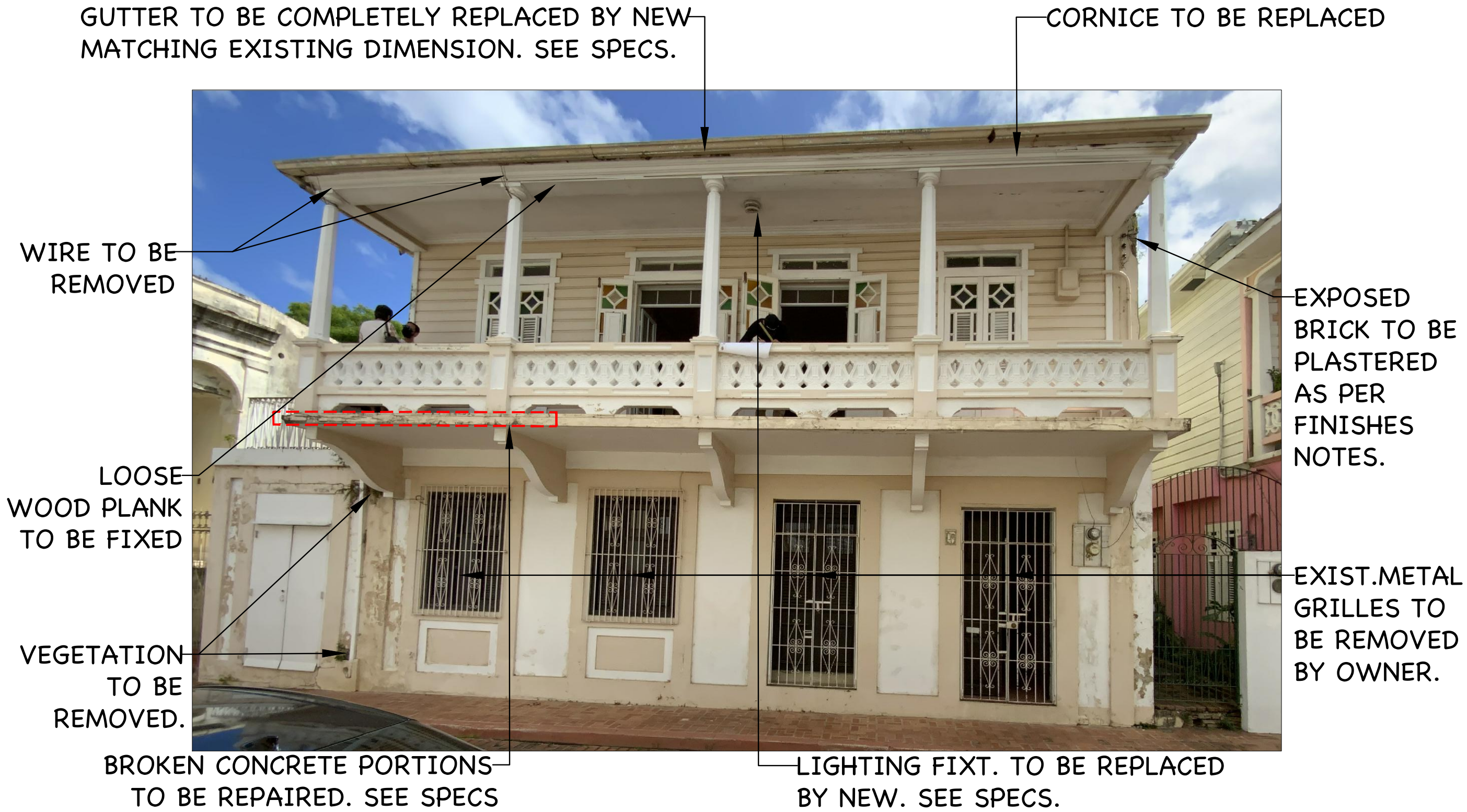
RESTORATION FIRST FLOOR PLAN

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PHOTO #1016. / REFER TO FLOOR PLAN.



ALL SURFACES IN THE FACADE ARE TO BE PREPARED AND PAINTED WITH COLOR TO MATCH EXISTIING, UNLESS THE ARCHITECT HAS OPTED THE COLOR TO BE DIFFERENT IN WHICH CASE THE CONTRACTOR MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS TO BE CONSIDERED. REFER TO FINISH NOTES FOR FURTHER INFORMATION. / NEW CORNICE SHALL MATCH EXISTING CHARACTERISTICS AND COLOR.

PHOTO #1037. / REFER TO FLOOR PLAN.



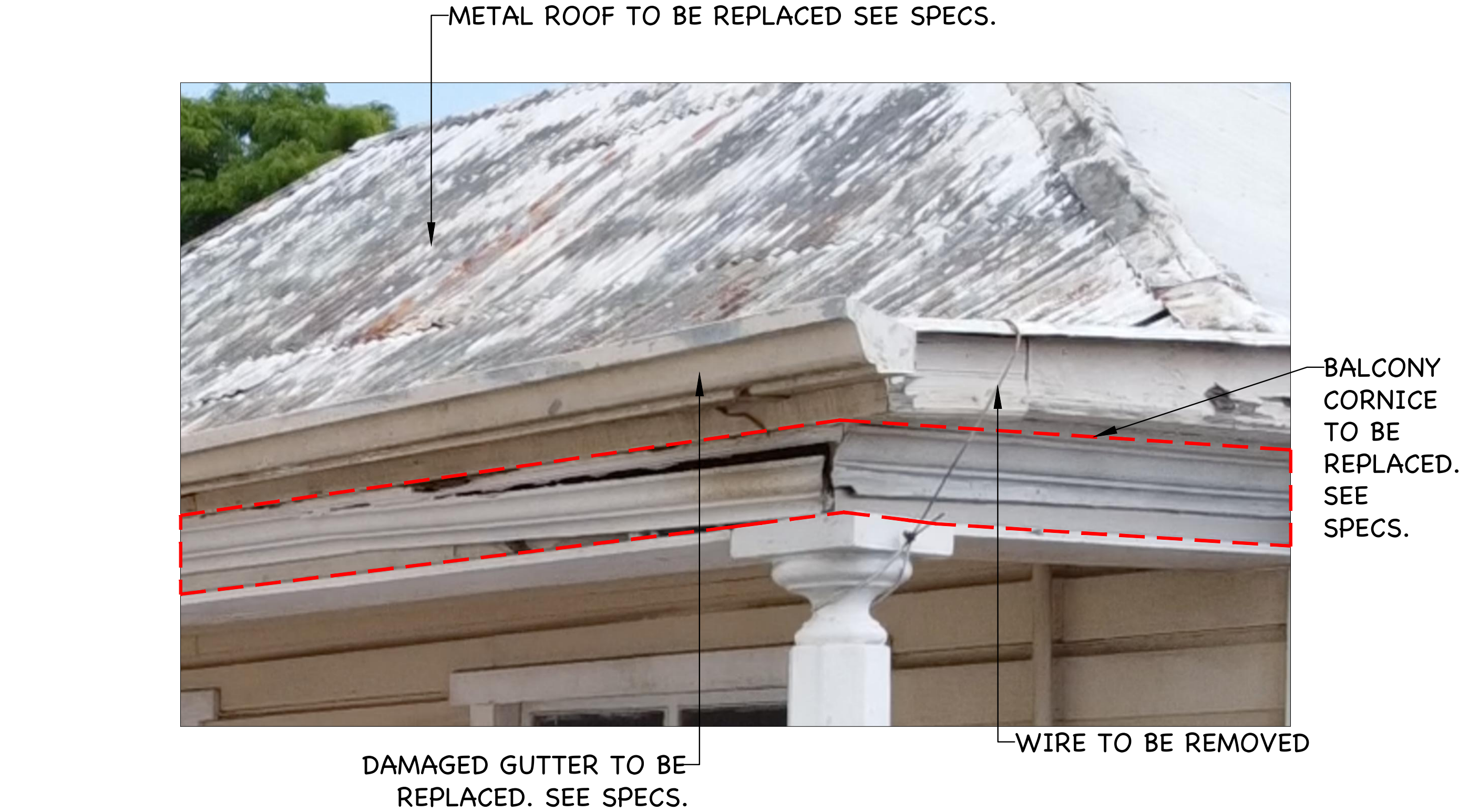
EXPOSED BRICK MUST BE PLASTERED USING THE ADMIXTURE AS INDICATED IN THE FINISHES NOTES / LOOSE PLASTER IS TO BE REMOVED / ANY ORGANIC MATERIAL ON WALLS AND FLOORS MUST BE PERMANENTLY REMOVED. SEE SPECS FOR FURTHER INSTRUCTION. / VEGETATION SHALL BE SPRAYED WITH HERBICIDE AND REMOVED. SEE SPECS.

PHOTO #1028. / REFER TO FLOOR PLAN.



ALTERNATE A: WALL TO BE PLASTERED USING THE ADMIXTURE INDICATED ON THE FINISH NOTES. ENTIRE WALL WITH PLASTER REPAIR SHALL BE PAINTED TO MATCH EXISTING. SEE SPECS.

VD #0001. / REFER TO FLOOR PLAN.



ALL SURFACES IN THE FACADE ARE TO BE PREPARED AND PAINTED WITH COLOR TO MATCH EXIST., UNLESS THE ARCHITECT INDICATES OTHERWISE. IN THE CASE OF THE COLOR BEING CHOSEN BY THE ARCH. DOES NOT MATCH EXISTING, THE G.C. MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS DUE TO THIS REASONREFER TO FINISH NOTES FOR FURTHER INFORMATION / THE G.C. MUST CONSIDER THE INSTRUCTIONS MARKED IN THE IMAGES./ SEE SPECS FOR NEW MOLDING INFORMATION.



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Architect of Record:
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Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

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GM EM CB LR	VV

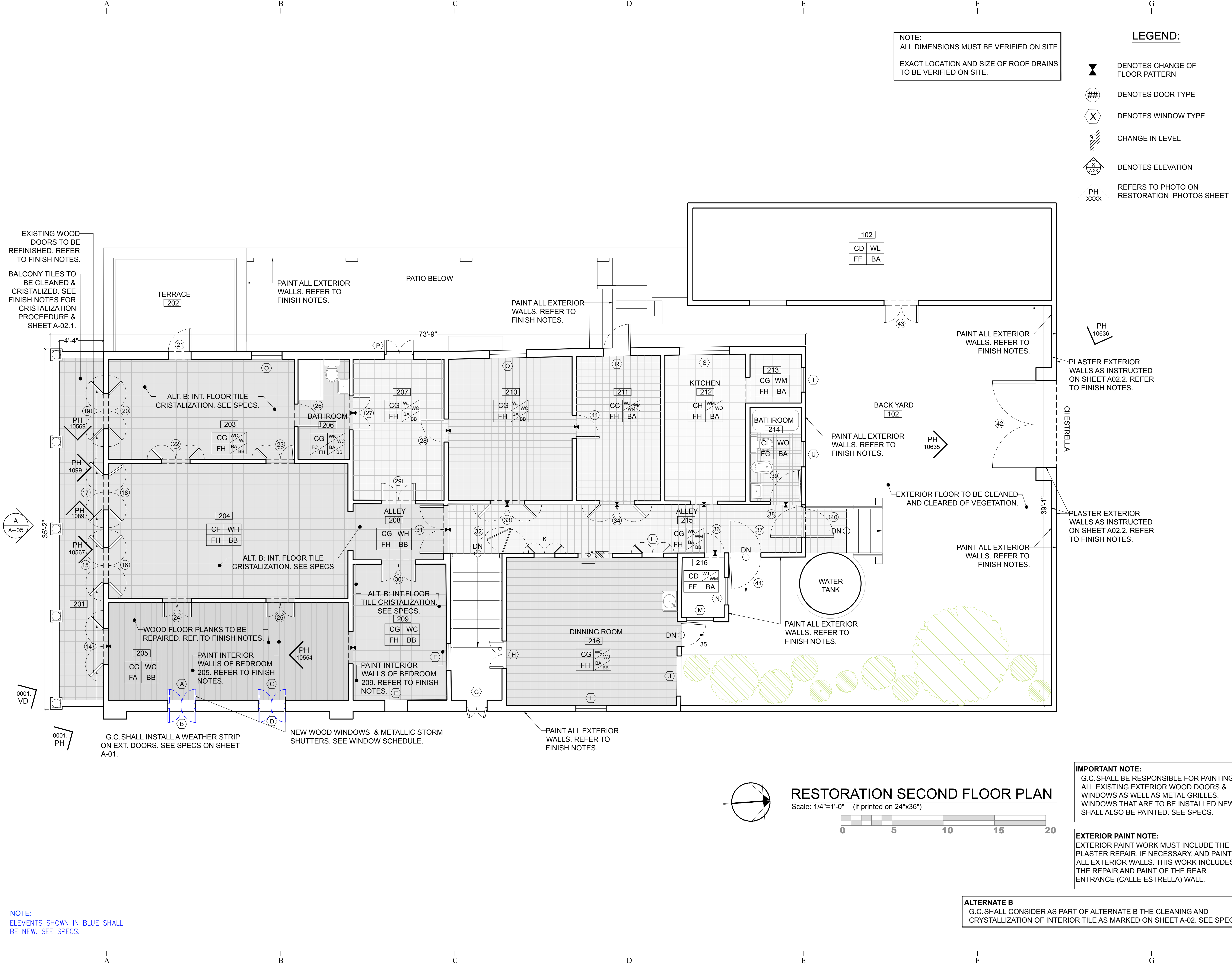
SHEET TITLE AND NUMBER:

A - 01.1

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A - 02

RESTORATION SECOND FLOOR PLAN

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PHOTO #1089. / REFER TO FLOOR PLAN.



NATIVE TILES ARE TO BE CLEANED AND REFINISHED TO CONFORM TO SPECIFICATIONS ON FINISH NOTES / LOOSE TILES MUST BE FIXED./ BALUSTRADE, COLUMNS AND WALLS IN BALCONY MUST BE PREPARED AND PAINTED WITH COLORS TO MATCH EXISTING UNLESS THE ARCHITECT HAS OPTED THE COLOR TO BE DIFFERENT IN WHICH CASE THE CONTRACTOR MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS TO BE CONSIDERED.

PHOTO #10554 / REFER TO FLOOR PLAN.



FLOOR TO BE REPAIRED FOLLOWING TECHNIQUES INSTRUCTED IN THE FINISHES NOTES.

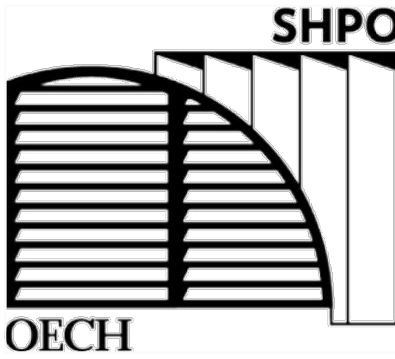
PHOTO #1099. / REFER TO FLOOR PLAN.



THIS IMAGE REPRESENTS THE CONDITIONS OF ALL DOORS LOCATED ON THE BALCONY. ENTIRE WOOD SURFACE MUST BE PREPARED AND PAINTED FOLLOWING THE SPECIFICATIONS ON THE FINISHES NOTES. ALL DOORS AND WINDOWS ARE TO BE PAINTED INSIDE AND OUT.



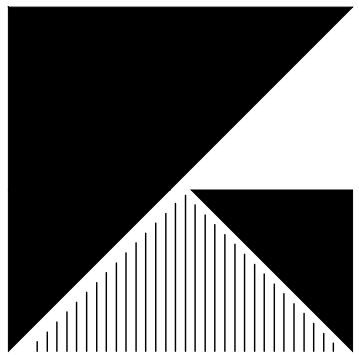
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Architect of Record:
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PHOTO #0003 / REFER TO FLOOR PLAN.



ALL SURFACES IN THE FACADE ARE TO BE PREPARED AND PAINTED WITH COLOR TO MATCH EXISTING, UNLESS THE ARCHITECT HAS OPTED THE COLOR TO BE DIFFERENT IN WHICH CASE THE CONTRACTOR MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS TO BE CONSIDERED. SEE SPECS FOR EXTERIOR PAINT INSTRUCTIONS/ CORRODED METAL PANELS ARE TO BE REPLACED. REFER TO WINDOW SCHEDULE. / VEGETATION SHALL BE SPRAYED WITH HERBICIDE AND REMOVED. SEE SPECS.

PHOTO #10636 / REFER TO FLOOR PLAN.



ALL SURFACES IN THE FACADE ARE TO BE PREPARED AND PAINTED WITH COLOR TO MATCH EXISTING, UNLESS THE ARCHITECT HAS OPTED THE COLOR TO BE DIFFERENT IN WHICH CASE THE CONTRACTOR MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS TO BE CONSIDERED. SEE SPECS FOR EXTERIOR PAINT INSTRUCTION.

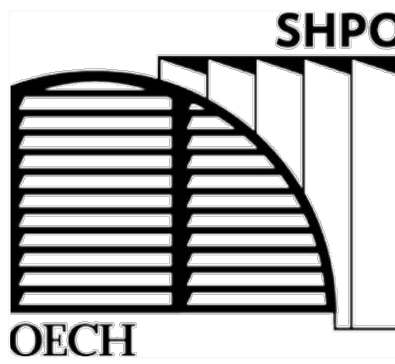
PHOTO #10635 / REFER TO FLOOR PLAN.



ALL SURFACES IN THE FACADE ARE TO BE PREPARED AND PAINTED WITH COLOR TO MATCH EXISTING, UNLESS THE ARCHITECT HAS OPTED THE COLOR TO BE DIFFERENT IN WHICH CASE THE CONTRACTOR MAY NOT MAKE A CLAIM FOR ADDITIONAL COSTS TO BE CONSIDERED. SEE SPECS FOR EXTERIOR PAINT INSTRUCTION. IMPORTANT THAT THE G.C. CONSIDERS BOTH SIDES OF THE WALL SHOWN ON PHOTO #10635/ VEGETATION SHALL BE SPRAYED WITH HERBICIDE AND REMOVED. SEE SPECS.



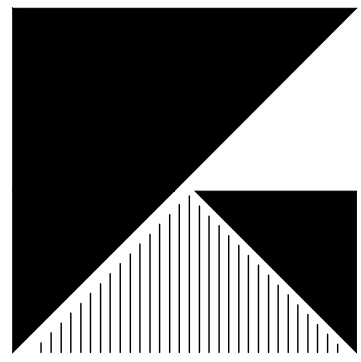
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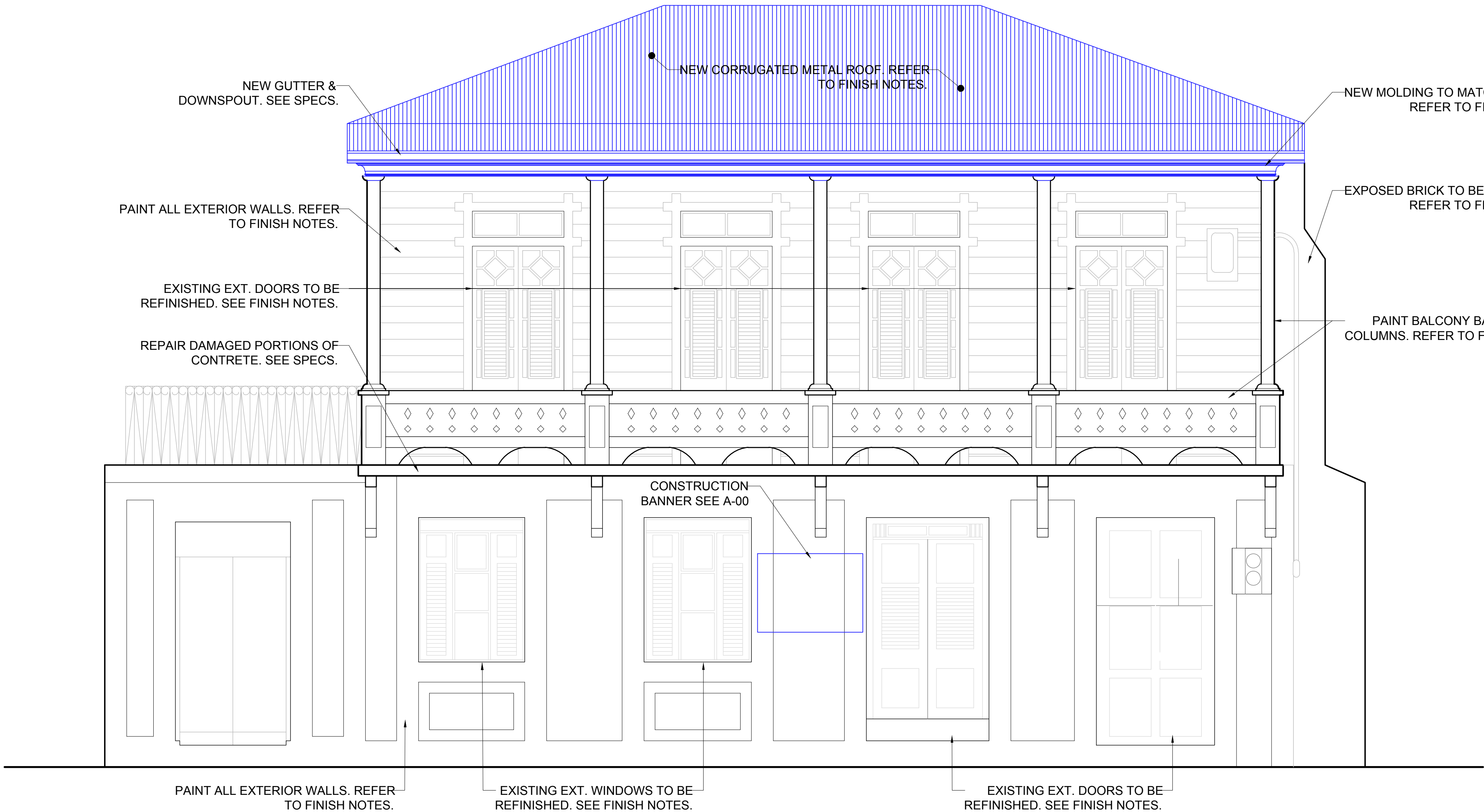
ROOF STORM-WATER DRAINAGE COMPONENTS

IMPORTANT NOTE: FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.	
K STYLE 6" ALUM. GUTTER SERIAL NO. WHKGX6XA032, .032 GAUGE, WHITE ALUM. / GUTTERSUPPLY	RECT. ELBOW TYPE A SERIAL NO. WHAEX23A019, 2"x3", WHITE ALUM. / GUTTERSUPPLY
RECT.DOWNSPOUT OFFSET SERIAL NO. WHOFS23A_XX (OFFSET TO VARY), 2"x3", WHITE ALUM. / GUTTERSUPPLY	ALUMINUM RECT. DOWNSPOUT SERIAL NO. WHDSX23A019, 2"x3", GAUGE .019 WHITE ALUM. / GUTTERSUPPLY
RECT. ELBOW TYPE B SERIAL NO. WHBEX23A019, 2"x3", WHITE ALUM. / GUTTERSUPPLY	K-STYLE OUTSIDE BOX MITER SERIAL NO. WHOBM6XAXXX, 6" WHITE ALUM. / GUTTERSUPPLY
K-STYLE END CAP - LEFT SERIAL NO. WHLEX6XAXXX, 6", WHITE ALUM. / GUTTERSUPPLY	K-STYLE INSIDE BOX MITER SERIAL NO. WHIBM6XAXXX, 6" WHITE ALUM. / GUTTERSUPPLY
K-STYLE END CAP - RIGHT SERIAL NO. WHREX6XAXXX, 6", WHITE ALUM. / GUTTERSUPPLY	RECT.OUTLET WIDE FLANGE SERIAL NO. MIROX23AXXX , 2"x3" ALUM. / GUTTERSUPPLY
DOWNSPOUT PIPE CLIPS SERIAL NO. WHPCX23AXXX, 2"x3", WHITE ALUM. / GUTTERSUPPLY	HEAVY DUTY HANGERN O CLIP SERIAL NO. MIKHDC6A060, GAUGE .060 ALUM. / GUTTERSUPPLY

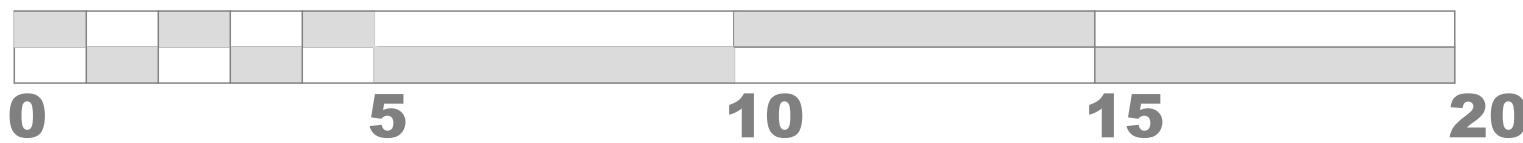
NOTE:
ELEMENTS SHOWN IN BLUE SHALL
BE NEW. SEE SPECS.

NOTE:
ALL EXTERIOR SURFACES SHALL BE PREPARED AND PAINTED
TO MATCH THE EXISTING COLOR UNLESS OTHERWISE
SPECIFIED BY THE ARCHITECT, IN WHICH CASE THE
CONTRACTOR MAY NOT CLAIM ADDITIONAL COSTS.

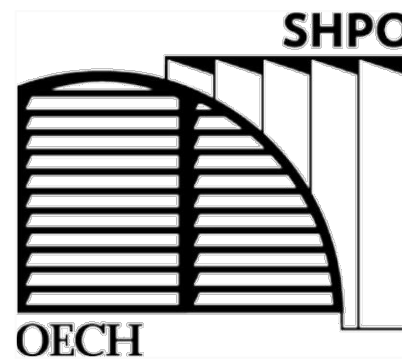
NOTE:
GC IS RESPONSIBLE FOR FOLLOWING ALL INSTRUCTIONS IN
THE CONSTRUCTION DRAWINGS, INCLUDING THOSE WHERE
THE INSTRUCTIONS ARE ABOVE IMAGES.



RESTORATION ELEVATION
Scale: 3/8"=1'-0" (if printed on 24"x36")



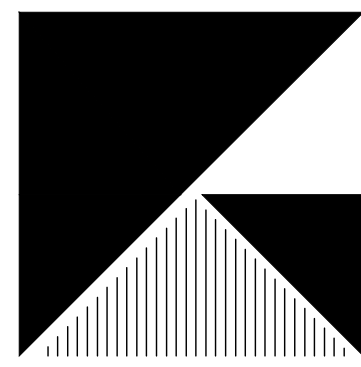
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Elvin E. Melendez
Laurie S. Rivera

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RESTORATION ELEVATION

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FINISH NOTES:	
1.	<p><u>EXISTING NATIVE TILE CLEANING AND REFINISHING</u></p> <p>EXISTING NATIVE TILES SHALL BE CLEANED AND CRYSTALIZED BY AN EXPERIENCE CONTRACTOR. THE G.C. IS RESPONSIBLE TO PROVIDE THE TILE CRYSTALIZATION SUBCONTRACTOR'S QUALIFICATIONS BEFORE WORK COMMENCES.</p> <p>THE CRYSTALIZATION PROCESS SHALL START WITH POLISHING USING DIAMOND RESIN 100/200/400/800 & LATER CRYSTALLIZE WITH STEEL WOOL. G.C. SHALL NOT USE ANY WAX, SEALANT, OR ACRYLICS / THE USE OF POWDERS WILL NOT BE ACCEPTED. THE G.C. SHALL DISCUSS THE CRYSTALLIZATION PROCESS PRIOR TO COMMENCING THE WORK.</p> <p>THE G.C. IS RESPONSIBLE TO VERIFY THAT ALL LOOSE TILES ARE FIXED PRIOR TO THE CRYSTALIZATION TO COMMENCE.</p> <p>CONTRACTOR IS RESPONSIBLE TO PROTECT THE AREA AS TO NOT AFFECT OTHER MATERIALS ON SITE DURING THE CLEANING – CRYSTALLIZING PROCESS OF THE TILE.</p>
2.	<p><u>EXISTING WOOD RESTORATION</u></p> <p>IT IS THE INTENT THAT THE G.C. FOLLOW THE PROCEEDURE BELOW FOR ALL WOODEN ELEMENTS INDICATED TO BE RESTORED ON THE CONSTRUCTION DRAWINGS. THE G.C. SHALL USE THESE NOTES AS A GENERAL INSTRUCTION, HOWEVER, MANUFACTURER INSTRUCTIONS ALWAYS GOVERN. MANUFACTURER INSTRUCTIONS CAN BE ACCESSED THROUGH THIS LINK: https://www.laghelp.com/images/LiquidWood–WoodEpo–Instructions.pdf</p> <p>DUE TO CONTRACTORS BEING RESPONSIBLE TO CAREFULLY INSPECT THE PROPERTY AND VALIDATE THE DAMAGES SHOWN ON DWGS PRIOR TO PROVIDING THEIR BID, HE SHALL BE RESPONSIBLE TO REPAIR ALL OTHER DAMAGED WOOD PLANKS THAN THOSE MARKED IN THE CONSTRUCTION DRAWINGS. G.C. IS RESPONSIBLE FOR RESTORING THOSE AS WELL AT THEIR COST. THIS IS ONLY APPLICABLE IN THE SAME GENERAL AREA OF THE RESTORATION WORK BEING DONE. GC SHALL BE RESPONSIBLE TO ASK IN WRITING IF QUESTION ARISE DURING INSPECTION AND BIDDING.</p> <p>FURTHERMORE, IF THE G.C. FINDS ORIGINAL WOOD SIDINGS THAT HAVE DETACHED FROM WALL BUT ARE VISUALLY AND STRUCTURALLY IN GOOD CONDITION, THE G.C. CAN USE THEM TO REPAIR THE WALL. PRESERVING THE HISTORIC MATERIAL HAS TO BE PRIORITY.</p> <p>G.C. MUST PROVIDE A MINIMUM OF THREE (3) ONE SQUARE FEET IDENTICAL SAMPLES OF FINISHED RESTORED WOOD ELEMENT PRIOR TO PROGRESSING WITH THE ENTIRE WORK. A/E WILL RETAIN ONE OF THESE SAMPLES.</p> <p><u>WOOD RESTORATION MATERIALS SHALL BE USED AS PER MFR RECOMMENDATIONS.</u></p>
A.	<p><u>PREPARATION INSTRUCTIONS:</u></p> <p>a. SURFACE ADHESION MAY BE IMPAIRED BY IMPROPERLY PREPARED SURFACES, WHICH MUST BE CLEANED AND DRY. OILS, GREASE, WAX, FAT, SOAP, PAINT, LUBRICANTS, LOOSE MATTER, AND MOST KINDS OF SOIL PREVENT ADHESION AND PENETRATION.</p> <p>b. DRY AFFECTED WOOD MEMBER COMPLETELY. IF COMPLETE DRYING IS NOT POSSIBLE IN PLACE, THE MEMBER MUST BE REMOVED AND KEPT IN A COOL DRY PLACE UNTIL DRY. IF THIS PRECAUTION IS NOT TAKEN, THE EPOXY CAN ACTUALLY TRAP MOISTURE IN WOOD FIBERS AND ACCELERATE THE DECAY PROCESS.</p> <p>c. OLD PAINT SHOULD BE REMOVED, IT CAN BE SCRAPED, SANDED OR STRIPPED. STRIPPER RESIDUE SHOULD BE REMOVED, OIL, GREASE AND OTHER CONTAMINANTS CAN BE REMOVED WITH DETERGENTS, SOLVENTS OR OTHER AGENTS. MOISTURE AND WATER DIMINISH PENETRATION AND ADHESION. MOISTURE CONTENT SHOULD BE BELOW 17%. WOOD CAN BE DRIED WITH HEAT OR VENTILATION. ANOTHER METHOD TO ACCELERATE DRYING IS BRUSHING ACETONE (CAUTION: FLAMMABLE) ON THE WET SURFACE. THIS SOLVENT BLENDS WITH WATER AND ACCELERATES ITS EVAPORATION.</p> <p>d. ORGANIZATION AND CLEANLINESS ARE KEYS TO PROPER EPOXY REPAIR. HAVE ALL MATERIALS AT HAND BEFORE THE MIXING PROCESS BEGINS. LABEL ALL CAPS AND LIDS SO THAT A CAP OR LID IS NOT PLACED ON THE WRONG CONTAINER OR IT WILL BE STUCK THERE FOREVER. PUTTING ALL MATERIALS ASSOCIATED WITH THE OTHER ON THE RIGHT HELPS KEEP THINGS SEPARATED. PROTECT ALL ADJACENT SURFACES FROM SPILLS WITH PLASTIC SHEETING. IF ANY EPOXY HAPPENS TO SPILL, WIPE IT UP IMMEDIATELY BEFORE IT SETS OR IT WILL NOT COME UP.</p>
B.	<p><u>EXECUTION:</u></p> <p>a. REMOVE ANY ROTTEN/ LOOSE WOOD MATERIAL IN THE AREA TO BE RESTORED.</p> <p>b. DRILL 1/4" OR 3/16" HOLES IN AFFECTED WOOD TO RECEIVE EPOXY CONSOLIDANT WILL LEAK OUT FROM BEHIND. WHEN ON A VERTICAL SURFACE, ANGLE THE HOLES SO EPOXY WILL NOT LEAK BACK OUT.</p> <p>c. FOLLOWING MANUFACTURER'S INSTRUCTIONS, MIX A SMALL AMOUNT OF THE CONSOLIDANT COMPONENTS IN EQUAL PARTS, THE RESIN AND THE HARDENER, TOGETHER, AVOID SHALLOW OR TOO LARGE CONTAINERS. USE A SEPARATE MEASURING TOOL TO SCOOP FROM THE RESIN AND THE HARDENER TO AVOID CONTAMINATION. STIR THE MIXTURE THOROUGHLY BY HAND, ALWAYS WEARING GLOVES, OR WITH A THIN STICK.</p> <p>d. CAREFULLY POUR THE CONSOLIDANT INTO THE PRE–DRILLED HOLES. THE AIM IS TO COMPLETELY SATURATE THE WOOD. MOVE FROM HOLE TO HOLE REFILLING UNTIL THE WOOD CAN HOLD NO MORE. MORE THAN ONE APPLICATION MAY BE NEEDED.</p> <p>e. AFTER THE CONSOLIDANT HAS CURED, THE VOIDS IN THE SURFACE CAN BE FILLED WITH EPOXY FILLER. IF THE VOIDS ARE LARGE, FILLER CAN BE APPLIED IN SUCCESSION, 1" OF DEPTH AT A TIME. THIS CUTS DOWN ON THE POSSIBILITY OF PROBLEMS ASSOCIATED WITH HEAT BUILD–UP.</p> <p>f. MIXING OF THE TWO–PART EPOXY FILLER IS SIMILAR TO THE CONSOLIDANT. WHEN MIXED, THE FILLER HAS THE CONSISTENCY OF A GLAZING COMPOUND AND CAN BE WORKED WITH A PUTTY KNIFE. THE SURFACE OF THE FILLER SHOULD BE BUILT UP SLIGHTLY ABOVE OF THE WOOD SURFACE TO ALLOW FOR PLANING AND SANDING SMOOTH AFTER IT HAS CURED.</p> <p>g. WAIT AT LEAST 24 HOURS AFTER HARDENING AND SAND LIGHTLY BEFORE PAINTING OR STAINING.</p> <p>h. G.C. SHALL ENSURE THAT SURFACE IS PAINTED AND/OR STAINED TO ACHIEVE A COLOR MATCH WITH THE EXISTING FLOOR. THE FINISHED PRODUCT MUST MATCH THE EXISTING, INCLUDING EMULATING THE EXISTING JOINTS IN ORDER FOR THE WORK TO PASS INCONSPICUOUSLY.</p> <p>i. APPLY COPPER GREEN WOOD PRESERVATIVE (https://www.homedepot.com/p/Copper–Green–1–gal–Wood–Preservative–Copper1/100203025) TO ALL EXISTING REPAIR & NON REPAIRED WOOD ELEMENTS AFTER THE REPAIRS HAS BEEN FINISHED. APPLY USING A MIST SPRAYER.</p>
C.	<p><u>WOOD REPAIR MATERIALS:</u></p> <p>USE LIQUIDWOOD FOR FILLING VOIDS IN DAMAGED WOODS. LIQUIDWOOD CONSISTS OF 2 CLEAR LIQUIDS: THE RESIN (A), AND THE HARDENER (B). WHEN A AND B ARE MIXED BY SIMPLE STIRRING, A BLEND IS FORMED WITH UNUSUAL PROPERTIES TO IMPREGNATE AND RESTORE WOOD AND OTHER POROUS MASSES. LIQUIDWOOD IS BRUSHED OR POURED ON THE SURFACE WHERE IT MUST BE ABSORBED. THE MORE POROUS THE WOOD, THE MORE RESIN IT WILL ABSORB AND THE GREATER THE IMPROVEMENT. LIQUIDWOOD IMPREGNATES THE WOOD FIBERS AND HARDENS INTO A WATER– AND INSECT–RESISTANT, DISTORTION–FREE, HIGH–STRENGTH MASS IN HOURS OR MINUTES. THE HARDENED MASS CAN BE SAWED, PLANED, ROUTED, CARVED, DRILLED, SANDED, GLUED AND PAINTED.</p> <p>USE WOOD EPOXOF FOR STRUCTURAL RECONSTRUCTION OF WOOD. USE WOODPOX IS A LIGHT–WEIGHT STRUCTURAL ADHESIVE PUTTY SYSTEM AND WOOD SUBSTITUTE, CONSISTING OF 2 COMPONENTS: RESIN PASTE (A) AND HARDENER PASTE (B). WHEN A AND B ARE MIXED, THE BLEND HARDENS WITHIN 1–2 HOURS INTO A LIGHTER–THAN–WATER NON–SHRINKING, TOUGH ADHESIVE MASS WITH HIGH DIMENSIONAL STABILITY, CHEMICAL, WATER, HEAT AND WEATHER RESISTANCE. ITS APPEARANCE IS A LIGHT NEUTRAL COLOR THAT CAN BE CHANGED, WHILE MIXING, WITH STAINS, DYES OR PIGMENTS. IT HAS A NO–SLUMP PASTE CONSISTENCY THAT ALLOWS IT TO BE APPLIED LIKE PUTTY TO FILL GAPS, HOLES, OR TO BUILD UP VIRTUALLY ANY THICKNESS AND SHAPE. BOTH PRODUCTS ARE PRODUCED BY ABATRON, INC. PLEASE SELECT THE FOLLOWING LINK FOR THE WOOD REPAIR MATERIALS: https://www.abatron.com/product/wood–restoration–kit/.</p>
3.	<p><u>PLASTER FOR EXISTING BRICK WALL</u></p> <p>CONTRACTOR SHALL ENSURE ALL BRICK MASONRY SHALL BE CLEANED FROM ANY ORGANIC MATERIAL PRESENT, AS WELL AS REMOVE ANY STAINS AND DIRT. ALL EXTERIOR BRICK MASONRY IS TO BE PATCHED–UP AND RESTORED TO SMOOTH AND UNIFORM SURFACE.</p> <p>EXISTING BRICK MASONRY WALLS SHALL BE PLASTERED USING THE FOLLOWING SPECIFICATIONS:</p> <ul style="list-style-type: none">SURFACE MUST BE CLEAN, MOIST, AND FREE OF DUST, DIRT, GREASE, FUNGUS, AND ANY OTHER TYPE OF CONTAMINANT. REMOVE HE MILDEW BY SCRUBBING WITH A SOLUTION OF LAUNDRY DETERGENT AND 1/4 OF HYPOCHLORITE TYPE HOUSEHOLD BLEACH ND 3/4 OF WATER. AFTER SCRUBBING, RINSE WITH LOW PRESSURE WATER OF MAX. 50 PSO (DO NOT USE WATER WITH HIGH PRESSURE).EXTERIOR AND INTERIOR BRICK AND/OR LIMESTONE MASONRY WALLS, BOTH LOAD–BEARING AND DIVIDING, ARE PLASTERED WITH SAINT–ASTIER NATURAL HYDRAULIC LIME NHL 3.5 (www.limeworks.us), OR APPROVED EQUIVALENT.THE LIME PLASTER WILL BE APPLIED OVER THE MOIST SURFACE PER LAYER, EACH LAYER NOT EXCEEDING 3/8 INCHES OF DEPTH; BETWEEN APPLICATION OF EACH LAYER, THERE NEEDS TO BE A CURING PROCESS OF AT LAST 7 DAYS. DURING HE CURING PROCESS, MOISTURE NEEDS TO BE KEPT. AFTER APPLYING HE LAST LAYER OF LIME PLASTER, THERE SHALL BE A CURING PROCESS FOR A MIN. OF 28 DAYS BEFORE COMMENCING THE PAINTING PROCESS.MOISTURE NEEDS TO BE KEPT DURING THE FIRST 7 DAYS OF THE CURING PROCESS.AFTER THE 28 DAYS OF THE CURING PERIOD, A PH TEST TILL BE PERFORMED BY THE PROJECT INSPECTOR BEFORE PAINT IS APPLIED. <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SITE SAMPLE ON A PORTION OF THE WALL MEASURING 3x3' PRIOR TO PROGRESSING THE WORK FOR ARCHITECT APPROVAL.</p> <p>EXTERIOR REINF.CONCRETE RESTORATION</p> <p>CONTRACTOR SHALL USE SIKA – PRO SELECT READY–MIX CONCRETE PATCH TO REPAIR DAMAGED CONCRETE AREAS. FINISH SHALL MATCH SURROUNDING AREAS.</p>

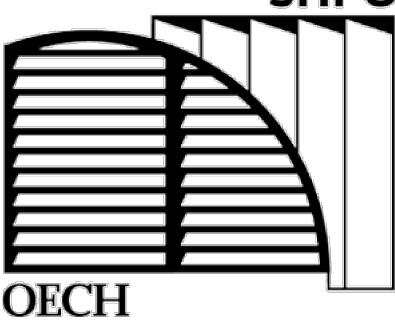
CONT. FINISH NOTES:	
4.	<p><u>PAIN T – EXISTING EXTERIOR WALL</u></p> <p>COMPLETE EXTERIOR WALL SURFACES SHALL BE PAINTED. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT.</p> <p>SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE EXTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED.</p> <p>IF THE EXISTING EXTERIOR WALL IS WOOD OR PLASTER, IT SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. ALL EXTERIOR PARAPETS, IF ANY, SHALL BE PAINTED ON BOTH SIDES (EXTERIOR & INTERIOR).</p> <p>GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE AT LEAST (10) TEN DIFFERENT 10X8' SAMPLES OF SELECTED COLORS ON WALLS FOR ARCHITECT'S EVALUATION. CONTRACTOR SHALL REQUEST THE ARCHITECT COLOR AND WALLS WERE SAMPLES ARE REQUESTED.</p>
5.	<p><u>PAIN T – EXISTING INTERIOR WALL & CEILING</u></p> <p>PAINT SHALL BE APPLIED ACCORDING TO CONSTRUCTION DRAWINGS. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT.</p> <p>SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTEDAS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE INTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED.</p> <p>ALL WALLS & PLASTER CEILINGS, UNLESS OTHERWISE SPECIFIED, SHALL BE SPRAY PAINTED EGGSHELL GLIDDEN ONE COAT INTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. WOOD CEILINGS SHALL BE PAINTED WITH PAINT SUITABLE FOR WOOD.</p> <p>GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE AT LEAST (10) TEN DIFFERENT 10X8' SAMPLES OF SELECTED COLORS ON WALLS AND CEILINGS FOR ARCHITECT'S EVALUATION. CONTRACTOR SHALL REQUEST THE ARCHITECT COLOR AND WALLS WERE SAMPLES ARE REQUESTED.</p>
6.	<p><u>PAIN T AND REFINISHING OF WOOD DOORS/WINDOWS/BALUSTER/RAILING</u></p> <p>SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTEDAS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE EXTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED.</p> <p>WOOD SURFACES OF DOORS, WINDOWS, AND BALUSTERS SHALL BE REFINISHED ACCORDING TO THE CONSTRUCTION DRAWINGS.</p> <p>DOORS/ WINDOWS/ BALUSTERS SHALL BE SANDED AND CLEANED IN PREPARATION FOR REPAINTING. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT.</p> <p>THE EXTERIOR WOODEN ELEMENT SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT.</p> <p>A SAMPLE AREA SHALL BE REFINISHED PRIOR TO PROGRESSING WITH THE WORK FOR ARCHITECT APPROVAL.</p> <p>CARE SHALL BE TAKEN TO PROTECT ALL MATERIALS FROM THE NEGATIVE EFFECTS OF TEMPERATURE, RELATIVE HUMIDITY, AND HANDLING. THE G.C. SHALL BE RESPONSIBLE TO PROTECT MATERIALS FOR CARE AND MOISTURE CONSIDERATIONS BEFORE, DURING, AND AFTER INSTALLATION.</p> <p>G.C. OR THEIR SUBCONTRACTOR IN CHARGE OF WOODWORKING MUST FOLLOW AWI STANDARDS. https://www.awinet.org/standards/standards–overview</p> <p>WHEN WORKING WITH WOOD BALUSTRADE, G.C. SHALL FOLLOW ANSI/AW SMA 0643–2021 – WOOD STAIR, HANDRAIL, AND GUARD SYSTEMS STANDARDS.</p>
7.	<p><u>NEW CORRUGATED GALVALUME METAL ROOFING</u></p> <p>WHEN NEW METAL ROOF IS REQUIRED BY THE CONSTRUCTION DRAWINGS EXISTING METAL ROOF SHALL BE REMOVED.</p> <p>DURING THE CONSTRUCTION PROCESS, THE G.C. IS RESPONSIBLE TO PROTECT THE INTERIOR OF THE PROPERTY WHILE THE ROOF IS BEING REPLACED.</p> <p>CONTRACTOR SHALL USE NU–VU INDUSTRIES TROPICAL ROOFING PANEL, OR EQUIVALENT/ GALVALUME GAUGE 24/ RED COLOR / FULL LENGTH EACH SLOPE ON ROOF AS SHOWN ON CONSTRUCTION DRAWINGS.</p> <p>G.G. SHALL PROVIDE A SAMPLE OF THE METAL ROOF PANEL FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.</p> <p>GALVANIZED SHARP POINT 3" ROOFING SCREWS SHALL BE INSTALLED TO FASTEN THE METAL PANELS EVERY 24" IN THE VERTICAL DIRECTION AND EVERY OTHER RIDGE IN THE HORIZONTAL DIRECTION OF THE PANEL. WITH THE EXCEPTION OF THE LOWER EDGE METAL PANELS WHEN THEY SHALL BE INSTALLED AS PER DRAWING SPECS. THE SCREWS SHALL BE THE SAME COLOR AS THE METAL ROOF AND FASTENED TO THE RIBS OF THE METAL PANEL.</p> <p>IF THE SHEATHING THAT IS PART OF THE ROOF ASSEMBLY IS MISSING, EVEN IF THIS IS NOT MARKED IN THE CONSTRUCTION DRAWINGS, THE G.C. IS RESPONSIBLE FOR ITS REPLACEMENT WITH A MATERIAL EQUAL TO EXISTING AT HIS OWN COST.</p>
8.	<p><u>NEW GALVALUME RIDGE FLASHING CAP</u></p> <p>EXISTING METAL RIDGE FLASHING CAP SHALL BE REMOVED AS INSTRUCTED IN THE CONSTRUCTION DRAWINGS.</p> <p>CONTRACTOR SHALL USE NU–VU INDUSTRIES TROPICAL ROOFING RIDGE, OR EQUIVALENT/ GALVALUME GAUGE 24 / 18" WIDE / LENGTH TO BE CONTINUOUS AS SHOWN ON CONSTRUCTION DRAWINGS/ RED COLOR.</p> <p>GALVANIZED SHARP POINT 3" ROOFING SCREWS SHALL BE INSTALLED TO FASTEN THE METAL RIDGE CAP AS INSTRUCTED IN THE DRAWING SPECS.</p> <p>G.G. SHALL PROVIDE A SAMPLE OF THE VENTED RIDGE FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.</p>
9.	<p><u>NEW ALUMINUM ROOF VALLEY FLASHING</u></p> <p>EXISTING ALUMN. VALLEY FLASHING SHALL BE REMOVED AS INSTRUCTED IN THE CONSTRUCTION DRAWINGS.</p> <p>CONTRACTOR SHALL USE NU–VU INDUSTRIES TROPICAL ROOFING VALLEY, OR EQUIVALENT/ GALVALUME GAUGE 24 / 18" WIDE / LENGTH TO BE CONTINUOUS AS SHOWN ON CONSTRUCTION DRAWINGS/ RED COLOR.</p> <p>GALVANIZED SHARP POINT 3" ROOFING SCREWS SHALL BE INSTALLED TO FASTEN THE METAL RIDGE CAP AS INSTRUCTED IN THE DRAWING SPECS.</p> <p>G.G. SHALL PROVIDE A SAMPLE OF THE VALLEY FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.</p>
10.	<p><u>NEW ALUMINUM GUTTER</u></p> <p>EXISTING GUTTER SHALL BE REMOVED IN ACCORDANCE WITH THE CONSTRUCTION DRAWNGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PORTIONS OF THE GUTTER THAT WILL BE REMOVED TO BE AS INSTRUCTED IN THE CONSTRUCTION DRAWINGS.</p> <p>CONTRACTOR SHALL USE GUTTERSYPPLY RAIN CARRYING SYSTEM K–GUTTER 5", OR EQUIVALENT/ WHITE / LENGTH TO BE AS SHOWN ON CONSTRUCTION DRAWINGS.</p> <p>ALUMINUM SCREWS SHALL BE USED TO FASTEN THE GUTTER. THE SCREWS SHALL BE THE SAME COLOR AS THE GUTTER.</p> <p>G.C. SHALL BE RESPONSIBLE FOR FOLLOWING MANUFACTURER RECOMMENDATIONS WHEN INSTALLING THIS PRODUCT.</p> <p>G.G. SHALL PROVIDE A SAMPLE OF THE GUTTER FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.</p>
11.	<p><u>NEW ALUMINUM DOWNSPOUT</u></p> <p>EXISTING DOWNSPOUTS BE REMOVED IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PORTIONS OF THE GUTTER THAT WILL BE REMOVED TO BE AS INSTRUCTED IN THE CONSTRUCTION DRAWINGS.</p> <p>CONTRACTOR SHALL USE RAIN CARRYING SYSTEM BY GUTTERSUPPLY, OR EQUIVALENT / ALUMINUM 2X3" DOWNSPOUT / WHITE / LENGTH TO BE AS SHOWN ON CONSTRUCTION DRAWINGS.</p> <p>ALUMINUM SCREWS SHALL BE USED TO FASTEN THE DOWNSPOUT. THE SCREWS SHALL BE THE SAME COLOR AS THE DOWNSPOUT.</p> <p>G.C. SHALL BE RESPONSIBLE FOR FOLLOWING MANUFACTURER RECOMMENDATIONS WHEN INSTALLING THIS PRODUCT.</p> <p>G.G. SHALL PROVIDE A SAMPLE OF THE DOWNSPOUT FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.</p>
12.	<p><u>HERBICIDE</u></p> <p>G.C. SHALL REMOVE WEEDS USING ECO GARDEN PRO WEED AND GLASS KILLER, OR EQUIVALENT. HERBICIDE TO BE USED AS MANUFACTURER RECOMMENDATIONS.</p>

SUBMITTAL NOTES:	
1.	CONTRACTOR SHALL DELIVER TO THE DESIGNATED INSPECTOR AND ARCHITECT, PRIOR TO OR AT THE PRE–CONSTRUCTION CONFERENCE, A PRELIMINARY SUBMITTALS SCHEDULE (SUBMITTAL LOG) OF ALL REQUIRED SUBMITTALS, SHOP DRAWINGS, SAMPLES, TECHNICAL DATA FOR FABRICATED MATERIALS AND EQUIPMENT SPECIFICATIONS FOR A/E APPROVAL.
2.	SUBMITTAL LOG SHALL INCLUDE (BUT NOT LIMITED TO) PROJECT'S NAME AND NUMBER, REVISION DATE, SUBMITTAL'S NUMBER, TITLE OR DESCRIPTION, DATE DELIVERED, DATE RECEIVED, DATE REJECTED, DATE APPROVED AND COMMENTS, IF ANY. IN ORDER TO FACILITATE ARCHIVING AND DOCUMENTS ADMINISTRATION, THE STANDARDIZATION OF THE SUBMITTALS NAMES AND IDENTIFICATION NUMBERS IS RECOMMENDED.
3.	G.C. SHALL INCLUDE IN SUBMITTAL LOG THE ANTICIPATED INITIAL PRESENTATION DATE OF EACH SUBMITTAL..
4.	SUBMITTALS SHALL BE NUMBERED ACCORDING TO SUBMITTAL LOG.
5.	CONTRACTOR SHALL REVISE, COMMENT, APPROVED, SIGN AND SEAL ALL SUBMITTALS BEFORE DELIVERY FOR INSPECTOR AND A/E REVISION. NO SUBMITTAL WILL BE CONSIDERED IF IT COMES WITHOUT CONTRACTOR'S SIGN AND SEAL, CONFIRMING THAT HE OR SHE HAS REVIEWED THE SUBMITTAL AND THAT THE SUBMITTED ITEM OR ITEMS ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6.	THE DESIGNATED INSPECTOR BY THE OWNER HAS THE RESPONSIBILITY TO REVISE AND COMMENT ON ANY SUBMITTAL CONTENT TO VERIFY THAT THE INFORMATION INCLUDED IS COMPLETE AND PRECISE BEFORE DELIVERING IT FOR A/E APPROVAL. NO SUBMITTAL WILL BE CONSIDERED BY A/E IF IT COMES WITHOUT INSPECTOR'S REVISION.
7.	CONTRACTOR SHALL CAREFULLY CONTROL HIS PROCUREMENTS OPERATIONS TO ENSURE THAT EACH INDIVIDUAL SUBMITTAL IS MADE ON OR BEFORE THE CONTRACTOR'S SCHEDULED SUBMITTAL DATE SHOWN ON THE APPROVED SUBMITTAL LOG.
8.	GENERAL CONTRACTOR IS REQUIRED TO ALLOW SUFFICIENT TIMING FOR SUBMISSION, REVIEW, SHIPMENT AND MANUFACTURING OF ALL PRODUCTS, MATERIALS AND/OR EQUIPMENT. PRODUCTS AND/OR MATERIALS UNAVAILABILITY OR STOCK SHORTER DO NOT RELIEVE THE GENERAL CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
9.	SUBSTITUTIONS OF MATERIALS BASED ON THE SOLE REASON OF SHORTER ARRIVAL TIME WILL NOT BE CONSIDERED BY THE A/E REGARDLESS OF THE TIME INCREASE THIS MAY CAUSE. PENALTIES FOR THE CONTRACTOR. GENERAL CONTRACTOR SHALL PLAN TIMING OF SUBMITTALS DELIVERY WITH ALL SUB–CONTRACTORS AND THEIR SUPPLIERS.
10.	ALL SUBMITTALS SHALL BE RECEIVED BY THE A/E NO LATER THAN FORTY FIVE (45) CALENDAR DAYS AFTER ORDER TO PROCEED. AFTER THAT DATE, IT WILL BE THE ARCHITECT'S OFFICE PREROGATIVE TO ACCEPT OR REJECT ALL OR ANY SUBMITTAL CONTAINING SPECIFIED EQUIVALENT PRODUCTS. CONTRACTOR SHALL PROVIDE AND INSTALL MATERIALS ACCORDING TO CONSTRUCTION DOCUMENTS SPECIFICATIONS.
11.	SUBMITTALS SHALL INCLUDE ITEMS SUCH AS: CONTRACTOR'S, MANUFACTURER'S OR FABRICATOR'S DRAWINGS (SHOP DRAWINGS), DESCRIPTIVE LITERATURE INCLUDING (BUT NOT LIMITED TO) CATALOG CUTS, DIAGRAMS, OPERATING CHARTS OR CURVES, TEST REPORTS, SAMPLES, CERTIFICATIONS, WARRANTIES, AND OTHER SUCH REQUIRED INFORMATION.
12.	G.C. IS RESPONSIBLE FOR THE SUBMITTALS TO BE WITH MARKS, NOTES AND INDICATIONS, THAT PROPERLY IDENTIFIES ALL THE INFORMATION RELATED TO THE SUBMITTED PRODUCT AND OR MATERIAL, SUCH AS BUT NOT LIMITED TO MODEL, SIZE, PERFORMANCE, AND FINISHES.
13.	A/E WILL NOT CONSIDER SUBMITTALS WITH INCOMPLETE INFORMATION NECESSARY TO IDENTIFY THE SUBMITTED PRODUCT, INCLUDING, BUT NO LIMITED TO PRODUCTS: MODEL, NUMBER, SERIES, ACCESSORIES, COLOR, FINISH AND OTHER CHARACTERISTICS THAT VARIES THE PRODUCT SPECIFICATION.
14.	AT A MINIMUM G.C. SHALL PROVIDE SUBMITTALS (SAMPLE, SHOP DRAWING, AND/OR DATA SHEET) FOR: <ul style="list-style-type: none">14.1. ALL NEW MATERIALS THAT WILL BE INSTALLED;14.1.1. SAMPLE AND SHOP DRAWING OF THE CROWN MOLDINGS, FLOOR BASES, WALL TRIMS, AND DOOR CASINGS.14.1.2. WOOD SIDING PANNELLS14.1.3. FLOORS AND CEILINGS14.1.4. LIGHTING FIXTURES14.1.5. GUARDRAILS AND HANDRAILS14.1.6. BATHROOMS ACCESSORIES14.1.7. BATHROOMS EQUIPMENTS14.1.8. STAIRS14.1.9. DRY WALL PANELS14.1.10. PAINTS14.1.11. TILES14.1.12. HARDWARE14.1.13. DOORS & WINDOWS14.1.14. MILLWORK14.1.15. WATER PROOFING MEMBRANES14.1.16. OTHERS
15.	CONSTRUCTION DRAWINGS SHALL NOT BE DIRECTLY USED AS PART OF ANY SUBMITTAL OR SHOP DRAWINGS. CONTRACTOR SHALL PRODUCE OR DEVELOP ORIGINAL SHOP DRAWINGS FOR THIS PROJECT. IN ANY CASE ELECTRONIC DWG OR DXF FILES WILL BE PROVIDED BY ARCHITECTS TO THE CONTRACTOR.
16.	ALL SAMPLES, MATERIAL INFORMATION AND SHOP DRAWINGS SHALL BE PREPARED SPECIFICALLY FOR THIS PROJECT. SHOP DRAWINGS SHALL BE DRAWN TO SCALE, INCLUDING DIMENSIONS AND DETAILS, SHOWING ADJACENT CONSTRUCTION AND RELATED WORK. NOTE ANY SPECIAL COORDINATION REQUIRED. NOTE ANY DEVIATIONS FROM REQUIREMENTS OF CONTRACT DOCUMENTS.
17.	THE A/E REVIEW OF SUBMITTALS WILL BE ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS AND SEE IF THEY CONFORM TO THE DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR DETERMINING THE ACCURACY OF MEASUREMENTS AND COMPLETENESS OF DETAILS, VERIFYING QUANTITIES AND CHECKING FABRICATION OR INSTALLATION PROCEDURES. THE A/E REVIEW WILL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.
18.	ADDITIONAL SUBMITTALS MAY BE REQUIRED TO THOSE SPECIFIED WHEN DEEMED NECESSARY TO ADEQUATELY DESCRIBE THE WORK COVERED IN THE TECHNICAL SPECIFICATIONS, IT MAY INCLUDE SAMPLES, SHOP DRAWINGS AND/OR TECHNICAL DATA, WITH NO CONTRACT COST CHANGE.
19.	ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
20.	ANYTIME A SAMPLE IS REQUIRED, G.C. SHALL SUBMIT A TOTAL OF (3) SAMPLES. (1) IS TO BE SUBMITTED TO THE ARCHITECT, (1) IS TO BE SUBMITTED TO THE STATE HISTORIC PRESERVATION OFFICE, AND (1) IS TO BE KEPT AT THE PROJECT SITE.
21.	ALL SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL TO ARQUITECTOVLLEGAS@ARQUITEG.COM AND ARQ.BALLESTER@ARQUITEG.COM
22.	A/E = ARCHITECT/ENGINEER

NOTE:
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.



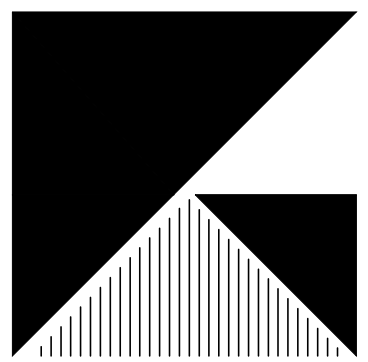
NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE
SAN GERMÁN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR.



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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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GM EM CB LR	vv

SHEET TITLE AND NUMBER:

A-07

FINISHES & SUBMITTAL NOTES

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

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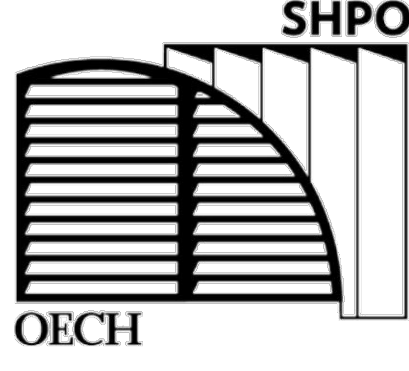
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LEAD - BASED PAINT GENERAL NOTES:	
1. LEAD-BASED COATINGS WERE IDENTIFIED ON SUBSTRATES OF THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL. PROJECT MAY INCLUDE ENCAPSULATION, ABATEMENT OF LEAD-BASED PAINT, REMOVAL AND DISPOSAL OF BUILDING MATERIALS COATED WITH LEAD-BASED PAINT, AND DISTURBANCE OF LEAD-BASED PAINT USING LEAD-SAFE WORK PRACTICES.	
2. RELATED PROJECT DOCUMENTS: A. LEAD-BASED PAINT SURVEY REPORT BY ZIMMETRY ENVIRONMENTAL. B. SPECIFICATION SECTION 02 83 19 LEAD BASED PAINT ABATEMENT.	
3. THE CONTRACTOR SHALL BE AWARE OF ALL DIVISION 02 SPECIFICATION REQUIREMENTS.	
4. THE LOCATIONS OF IDENTIFIED LEAD-BASED PAINT ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTIFY.	
5. THE CONTRACTOR SHALL BE AWARE OF ALL CONDITIONS OF THE PROJECT AND IS RESPONSIBLE FOR VERIFYING QUANTITIES AND LOCATIONS OF ALL WORK TO BE PERFORMED. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF ITS OBLIGATION TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK.	
6. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.	
7. BEFORE STARTING THE WORKS, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATEMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.	
8. BEFORE ORDERING, THE ENVIRONMENTAL CONTRACTOR MUST SUBMIT THE MATERIALS THAT THEY PROPOSE TO USE FOR ENCAPSULATION.	
9. ONCE THE CONTRACTOR HAS SUBMITTED HIS WORK PLAN AND APPROVAL OF THE MATERIALS TO BE USED, HE MUST PREPARE A 3' x 3' SAMPLE OF HOW THE FINAL WORK WOULD LOOK LIKE. THE CONTRACTOR MUST BEAR IN MIND THAT WE ARE WORKING ON PROJECTS OF HISTORICAL VALUE AND THEREFORE MUST BE CAREFUL NOT TO CAUSE DAMAGE TO THE INTEGRITY OF THE SUBSTRATE MATERIALS, WHETHER THEY ARE WOOD, METALS OR CEMENTITIOUS MATERIALS.	
10. ACTIVITIES IMPACTING HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING "OFF-HOURS".	
11. MULTIPLE MOBILIZATIONS MAY BE REQUIRED TO PERFORM THE WORK IDENTIFIED IN THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER OR DESIGNATED OWNER'S REPRESENTATIVE.	
12. THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS ASSOCIATED WITH THIS PROJECT.	
13. ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVE(S).	
14. OTHER COATINGS WHICH CONTAIN LEAD AT CONCENTRATIONS LOWER THAN THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DEFINITION OF LBP ARE PRESENT WITHIN THE CONTRACT WORK AREAS. THESE COATINGS MAY BE REFERRED TO AS LEAD-CONTAINING PAINT OR PAINT CONTAINING LEAD. DISTURBANCE OF LEAD CONTAINING PAINT CAN RESULT IN LEAD-EXPOSURE TO WORKERS AND OCCUPANTS. REFER TO THE ENVIRONMENTAL SURVEY FOR LEAD-BASED PAINT REPORT BY ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC. DATED AUGUST 2020 FOR ADDITIONAL DETAILS ON THE TYPE AND LOCATION OF LEAD-CONTAINING PAINT. DISTURBANCE OF LEAD-CONTAINING PAINT SHALL BE PERFORMED IN ACCORDANCE WITH THE UNITED STATES OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) LEAD CONSTRUCTION STANDARD 29 CFR 1926.62 AND ALL OTHER APPLICABLE OSHA HEALTH AND SAFETY REGULATIONS.	
LEAD - BASED PAINT ABATEMENT:	
1. PROJECT DESCRIPTION - A LEAD-BASED STUDY PREPARED FOR THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL INDICATES THAT THE PROPERTY HAS LEAD-BASED PAINT ON MANY ELEMENTS. THE GENERAL CONTRACTOR SHOULD BE FAMILIAR WITH SUCH STUDY WHICH HAS BEEN INCLUDED IN THE TECHNICAL SPECIFICATIONS OF THE PROJECT.	
2. BACKGROUND -THROUGHOUT THE LAST DECADES THESE BUILDING HAVE BEEN SUBJECTED TO SEVERAL RENOVATIONS AND IMPROVEMENTS. MANY OF THE CONSTRUCTION MATERIALS USED IN THE EARLY PHASES OF CONSTRUCTION AND REMODELING PROJECTS USED LEAD CONTAINING MATERIALS, SUCH AS CERAMIC, WALL PAINT, BATHROOM APPLIANCES AND OTHERS. TO PROCEED WITH THE INTENDED RENOVATION, THE GC SHALL ABATE THESE MATERIALS FOLLOWING FEDERAL AND STATE GUIDELINES.	
3. PROJECT SAFETY REQUIREMENTS -TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF GENERAL CONTRACTOR, SUBCONTRACTOR AND SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.	
4. ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.	
5. SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. - LEAD ABATEMENT SHALL FALLS WITHIN NESHAP REGULATIONS.	
6. TO ACHIEVE ABATEMENT AND BEFORE STARTING, THE ENVIRONMENTAL SUB-CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATEMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.	
7. LEAD-BASED ABATEMENT PERMIT - THE SPECIFIC WORK PLAN WILL BE PART OF OTHER DOCUMENTATION THAT SHALL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES THE GC WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECT'S EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORS, HYGIENISTS, LABORATORIES, TRANSPORTERS, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.	
8. COMMUNICATIONS - A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. SUCH PROGRAM INCLUDES BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.	
9. ALL PROJECT PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL TO BE HANDLING THE HARZADOUS MATERIALS HAVE TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND	
10. VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.	
11. OTHER SPECIFICS - THE AREAS WILL EXHAUST ITS AIR THROUGH A VACUUM WITH HEPA FILTER THAT WILL STORE ANY DEBRIS WITHIN ITS CANISTER. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.	
12. DECONTAMINATION - THE DECONTAMINATION WILL CONSIST IN WEARING A DOUBLE DISPOSABLE SUIT. WITHIN THE MINI ENCLOSURE THE EMPLOYEE WILL REMOVE OUTER SUIT BEFORE EXITING, A DECON ATTENDANT WILL PROCEED TO VACUUM THE INNER SUIT WHILE THE EMPLOYEE IS STILL WEARING IT. AFTER THAT SUIT IS VACUUMED, THEN THE EMPLOYEE CAN REMOVE THE SUIT AND CONTINUE WITH UNDERNEATH STREET GARMENTS. IF THERE IS ANY GENERATED WATERS IT WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM.	
13. GENERATED WASTE - ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACCESSING THE BASEMENT. TCLP SAMPLING OF THIS WASTE WILL BECOLLECTED AND ANALYZED TO DETERMINE FINAL WASTE SITE. NORMALLY RESULTS NON-HAZARDOUS AND WILL BE TRANSPORTED TO A LEGAL LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.	
14. FINAL CLEARANCE - THESE AREAS AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR OUTDOORS, FINAL CLEARANCE MUST COMPLY WITH 400 PPM FOR LEAD. COMPLIANCE WITH PARAMETER WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.	
15. PROJECT DOCUMENTATION - ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.	



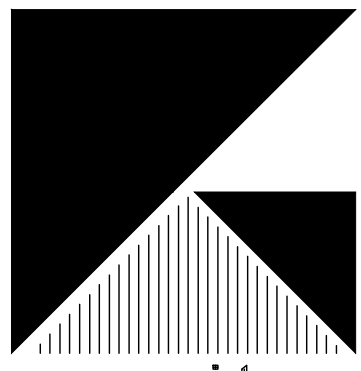
NATIONAL PARK SERVICE



STATE HISTORIC
PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE
SAN GERMAN, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR.



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Elvin E. Melendez
Laurie S. Rivera

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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-07.1

LEAD BASED PAINT ABATEMENT NOTE

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE:APR 14, 2023

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Simpson Strong-Tie® Wood Construction Connectors

H/TSP

Seismic and Hurricane Ties

Simpson Strong-Tie hurricane ties provide a positive connection between truss/rafter and the wall of the structure to resist wind and seismic forces.

Material: See table

Finish: Galvanized. H1.81Z, H7Z and H11Z — ZMAX® coating. Some models available in stainless steel or ZMAX; see Corrosion Information, pp. 12–15 or visit strongtie.com.

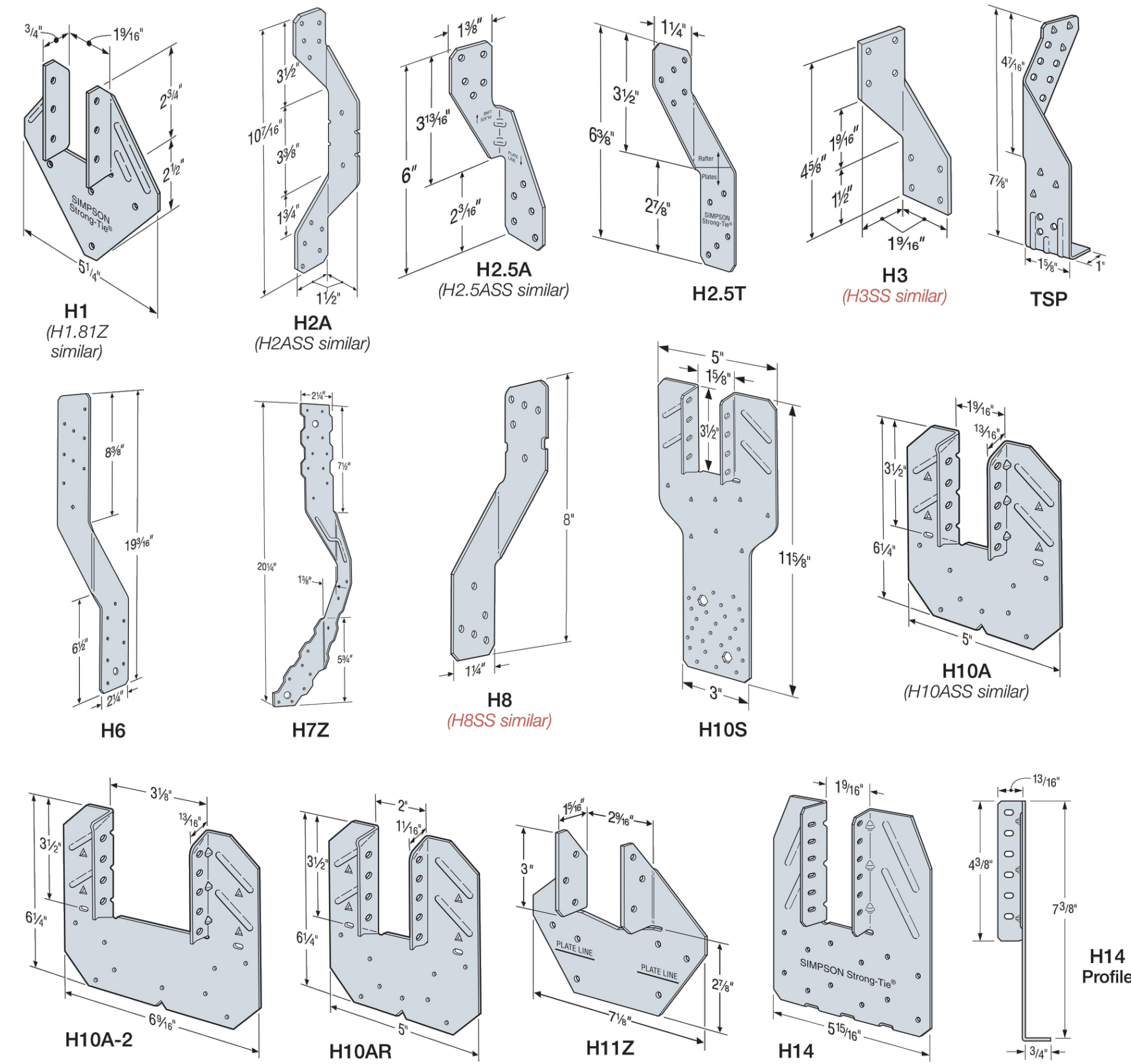
Installation:

- Use all specified fasteners; see General Notes.
- Hurricane ties can be installed with flanges facing inward or outward.

- H2.5T, H3 and H6 ties are shipped in equal quantities of right and left versions (right versions shown).
- Hurricane ties do not replace solid blocking.
- When installing ties on plated trusses (on the side opposite the truss plate) do not fasten through the truss plate from behind. This can force the truss plate off of the truss and compromise truss performance.
- H10A optional nailing to connect shear blocking, use 0.131" x 2½" nails. Slots allow maximum field bending up to a pitch of 6:12, use H10A sloped loads for field-bent installation.

Codes: See p. 11 for Code Reference Key Chart

SIMPSON
Strong-Tie



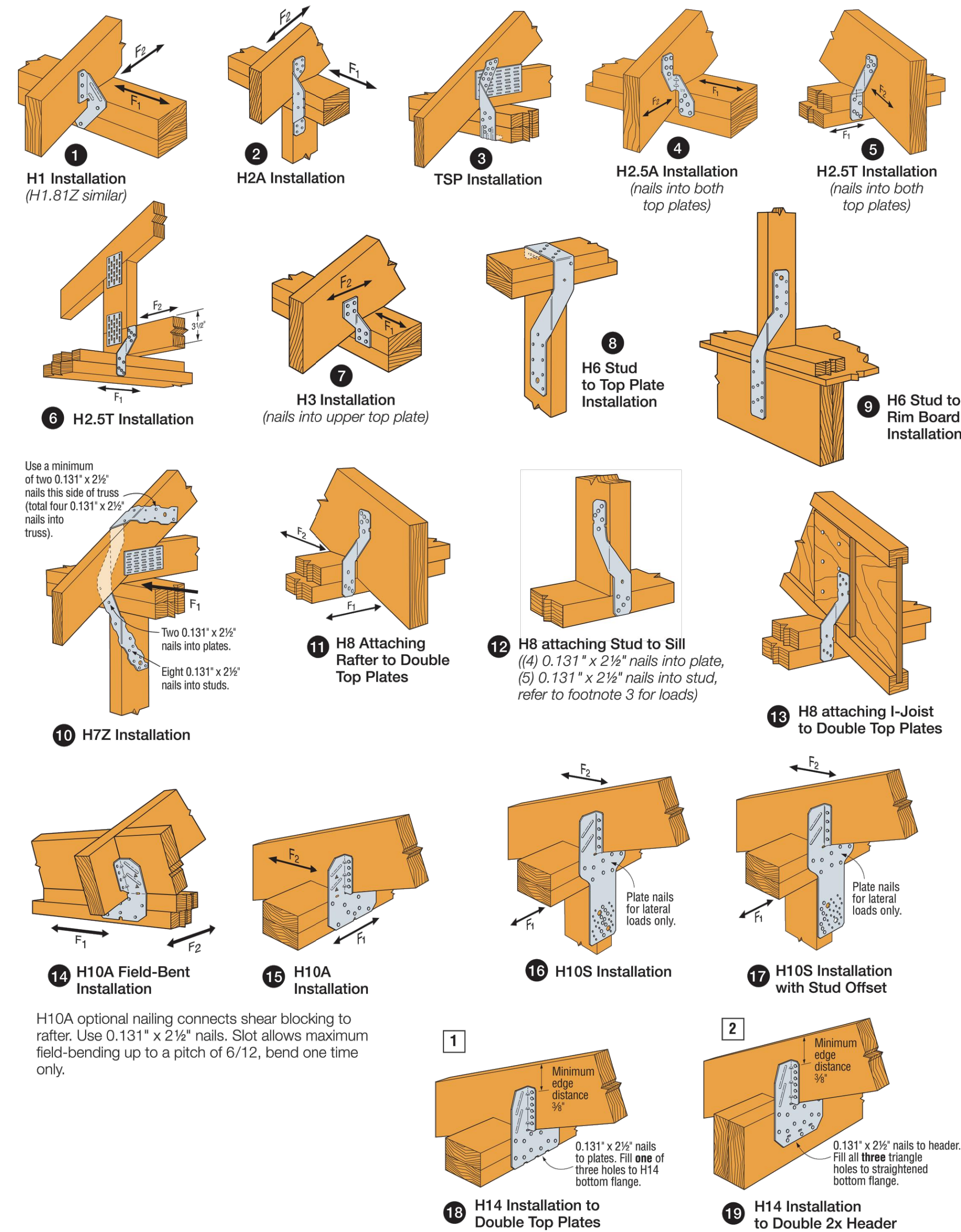
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C-C-2021 © 2021 SIMPSON STRONG-TIE COMPANY INC.

Simpson Strong-Tie® Wood Construction Connectors

H/TSP

Seismic and Hurricane Ties (cont.)



278

C-C-2021 © 2021 SIMPSON STRONG-TIE COMPANY INC.

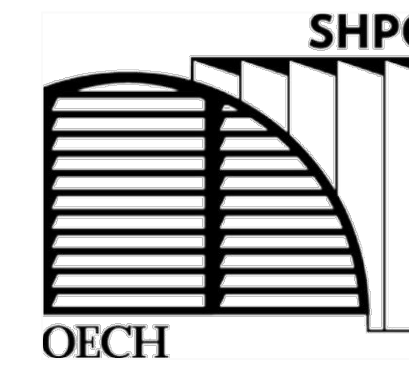
PRODUCT SPECIFICATION NOTE:
FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.

SIMPSON
Strong-Tie

IMPORTANT NOTE:
G.C. MUST INSTALL REINFORCEMENTS EQUIVALENT TO THOSE ILLUSTRATED ABOVE IN ALL JOINTS OF THE WOODEN ROOF BEAMS. THE CONTRACTOR MUST USE THE MOST APPROPRIATE TYPE OF TIE RECOMMENDED BY THE MANUFACTURER FOR EACH CONDITION. G.C MUST SUBMIT PHOTOS OF WHAT IS INSTALLED WHEN SUBMITTING THE CERTIFICATION OF PAYMENT.



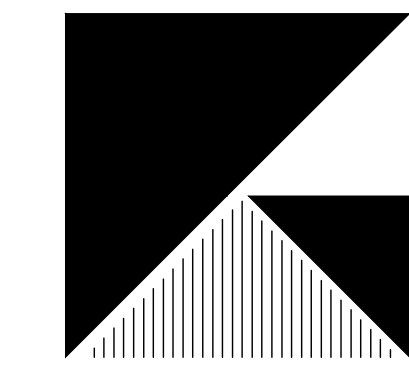
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No.	Issue	Date
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-08

WOOD CONECTORS

ISSUE FOR BIDDING
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BY: V.M.V. DATE: APR 14, 2023

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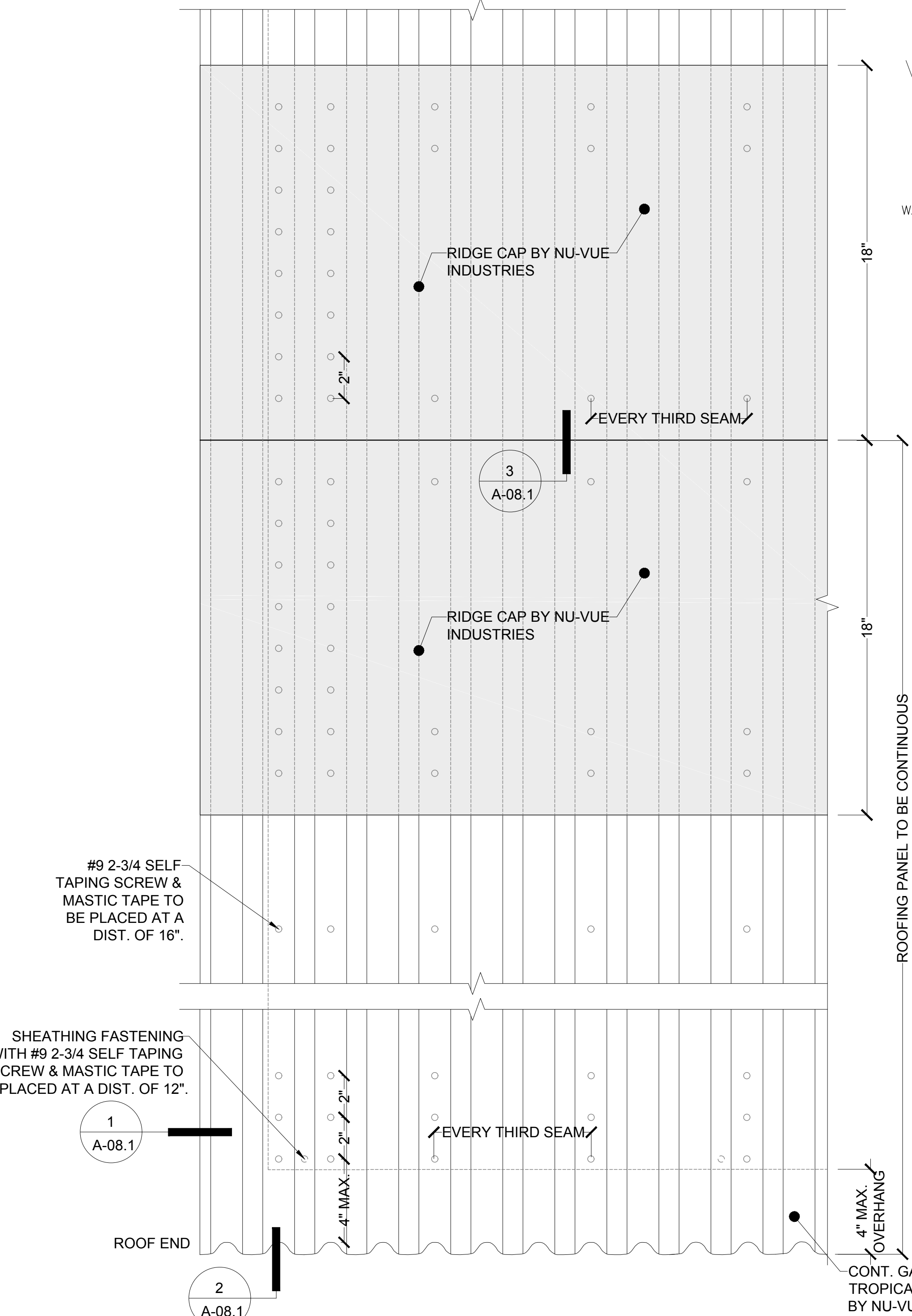
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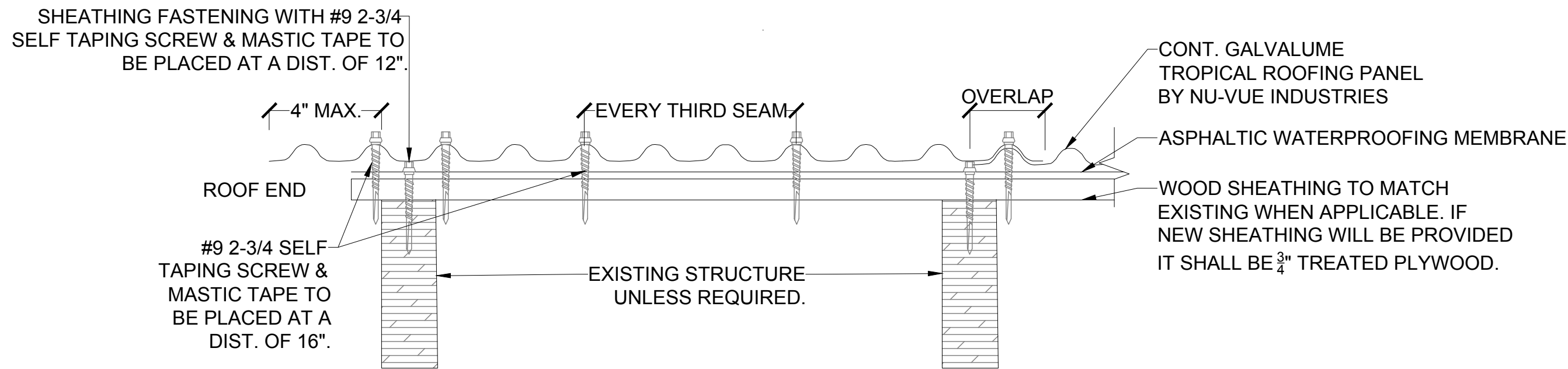
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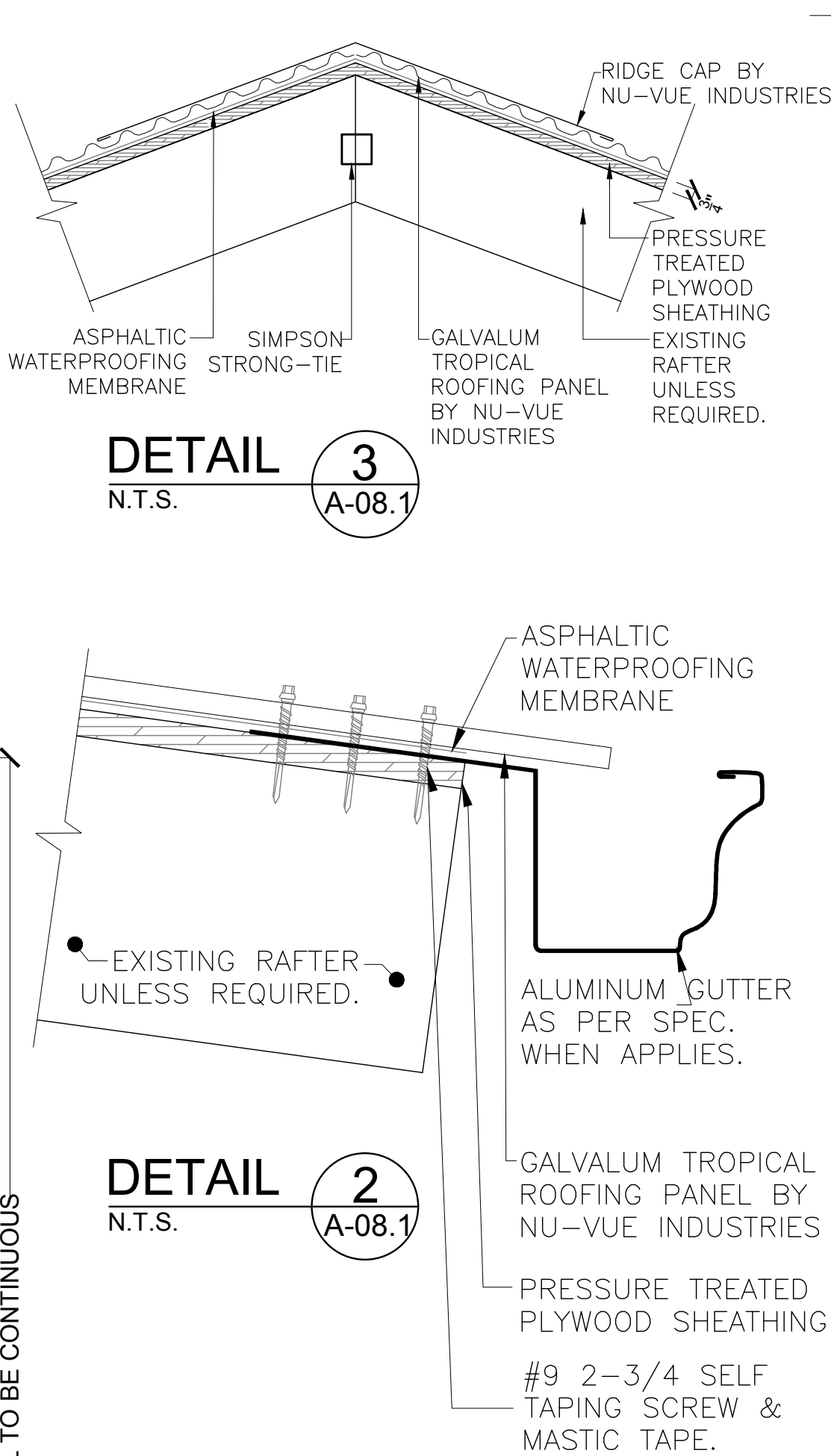
TYP. ROOFING PLAN (INCL. SHEATHING)

scale: N.T.S.



SECTION DETAIL 1

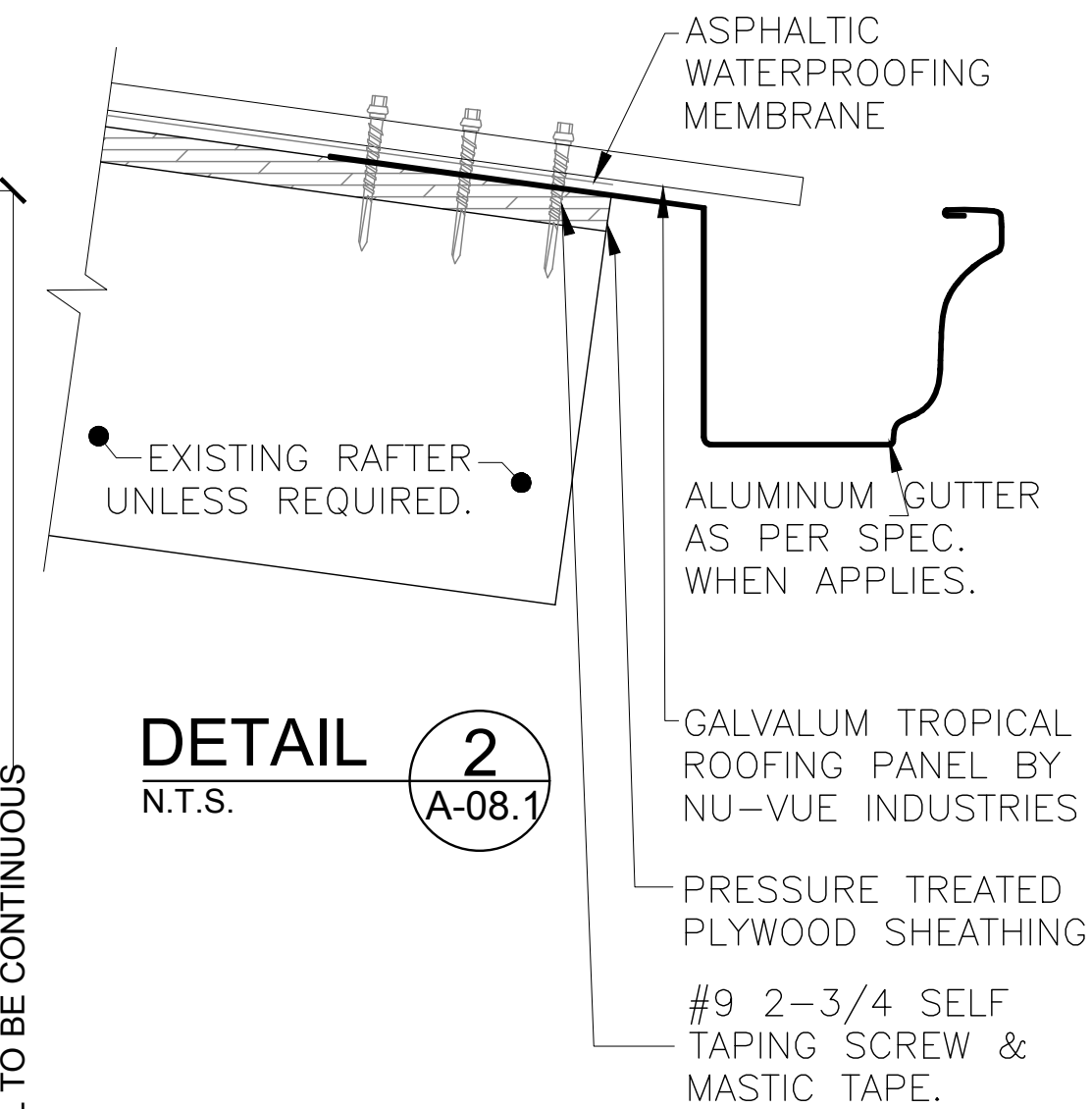
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DETAIL 3

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DETAIL 2

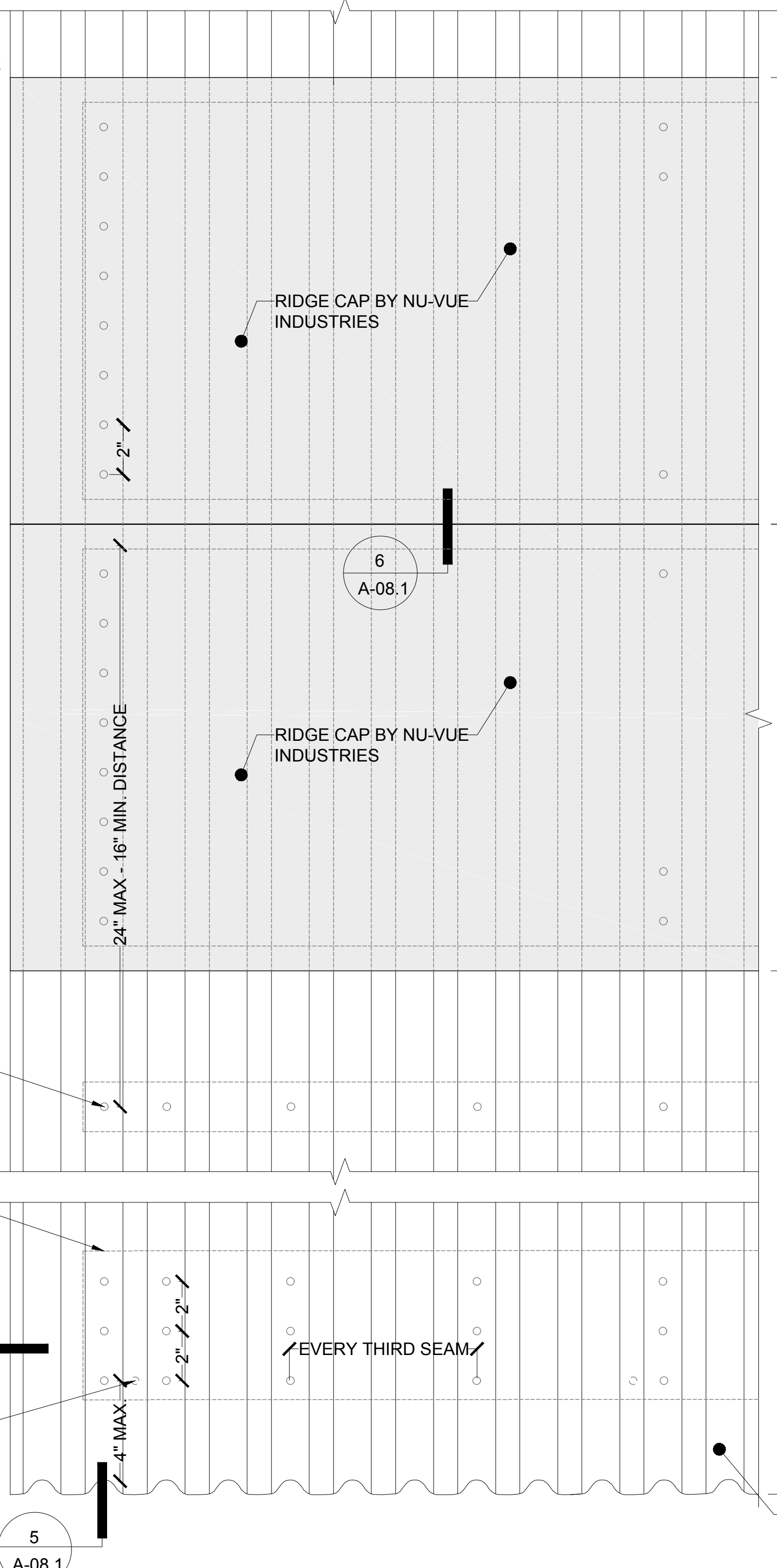
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#9 2-3/4 SELF TAPING SCREW & MASTIC TAPE TO BE PLACED AT A DIST. OF 16".

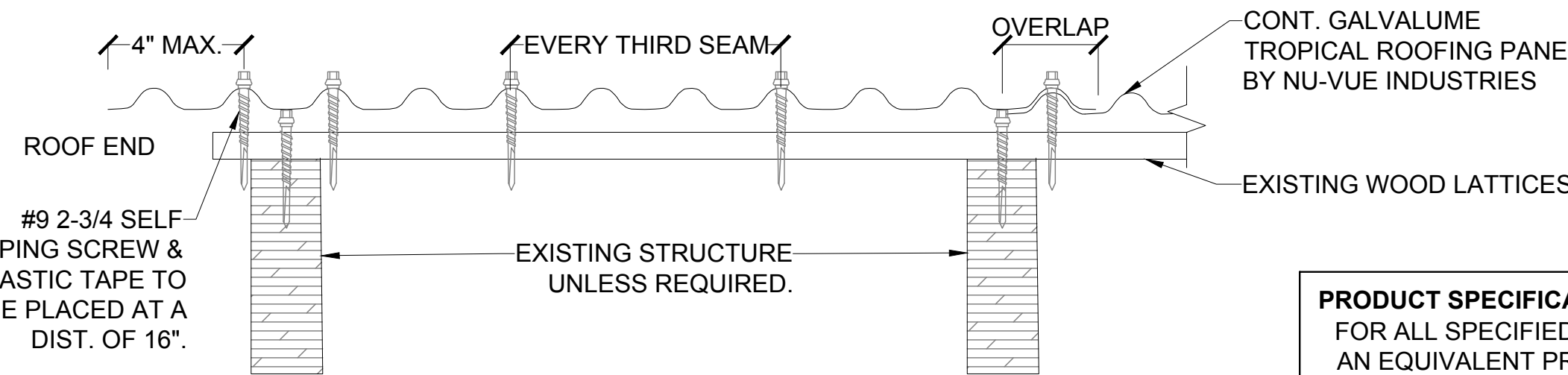
WOOD LATTICES. NEW WOOD LATTICES SHALL BE INSTALLED WHEN NECESSARY FOR SCREW PLACEMENT.

WOOD LATTICES FASTENING WITH #9 2-3/4 SELF TAPING SCREW & MASTIC TAPE TO BE PLACED AT A DIST. OF 12".



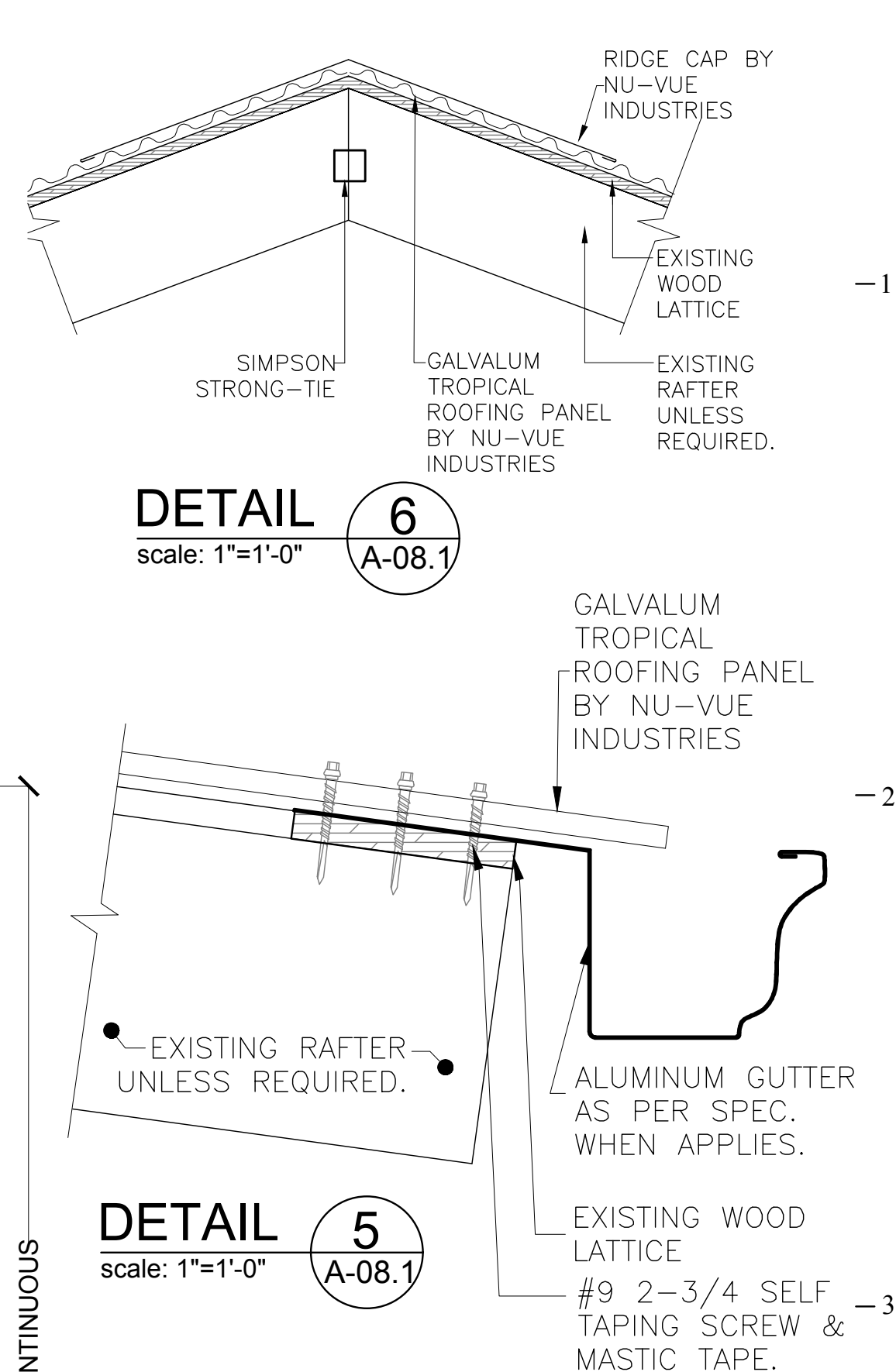
TYP. ROOFING PLAN (W/ WOOD LATTICES)

scale: N.T.S.



SECTION DETAIL 4

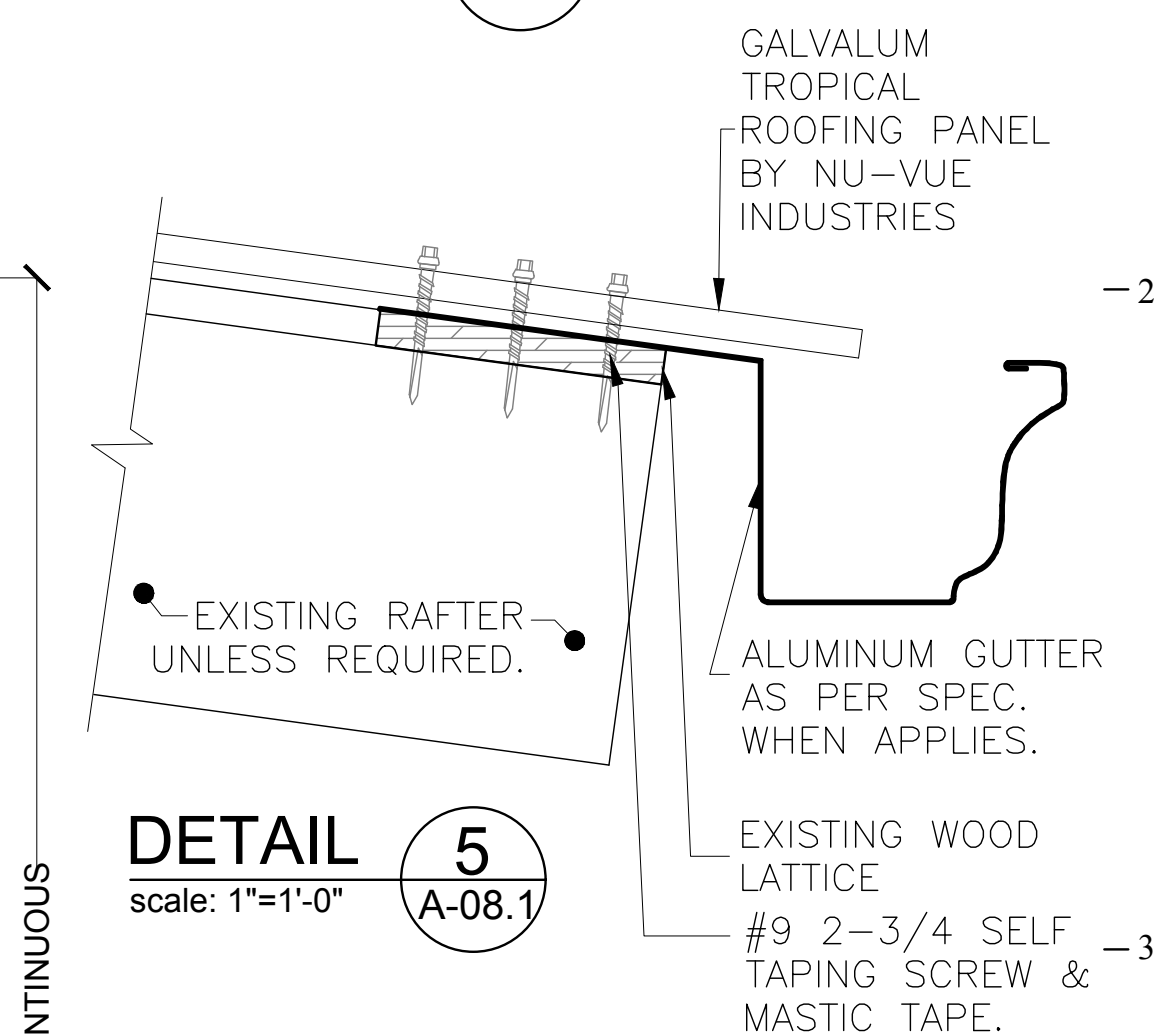
scale: 3"=1'-0"



DETAIL 6

scale: 1"=1'-0"

A-08.1



DETAIL 5

scale: 1"=1'-0"

A-08.1

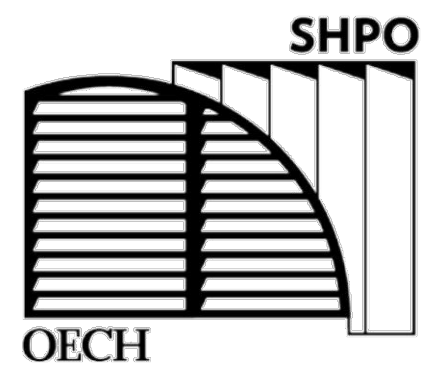
ROOFING PANEL TO BE CONTINUOUS

PRODUCT SPECIFICATIONS NOTE:
FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.

IMPORTANT NOTE:
G.C. SHALL BE RESPONSIBLE FOR USING THE SCREWS AS INSTRUCTED IN THE TYPICAL ROOFING PLAN.



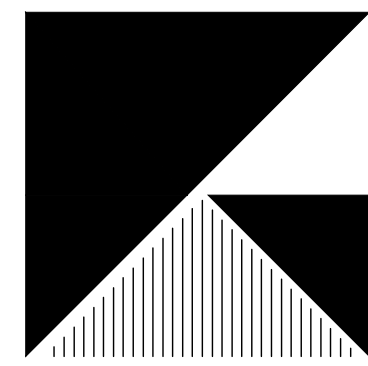
NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

ZAPATA RESIDENCE
SAN GERMAN, PUERTO RICO

Architect of Record:
Victor M Villegas, AIA
Registration No. 11445 PR.



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de los Agentes, Juntas Reglamentadoras o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la inversión por la industria puertorriqueña" y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODE.

PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-08.1

ROOF SCREW REINF. DETAIL

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023