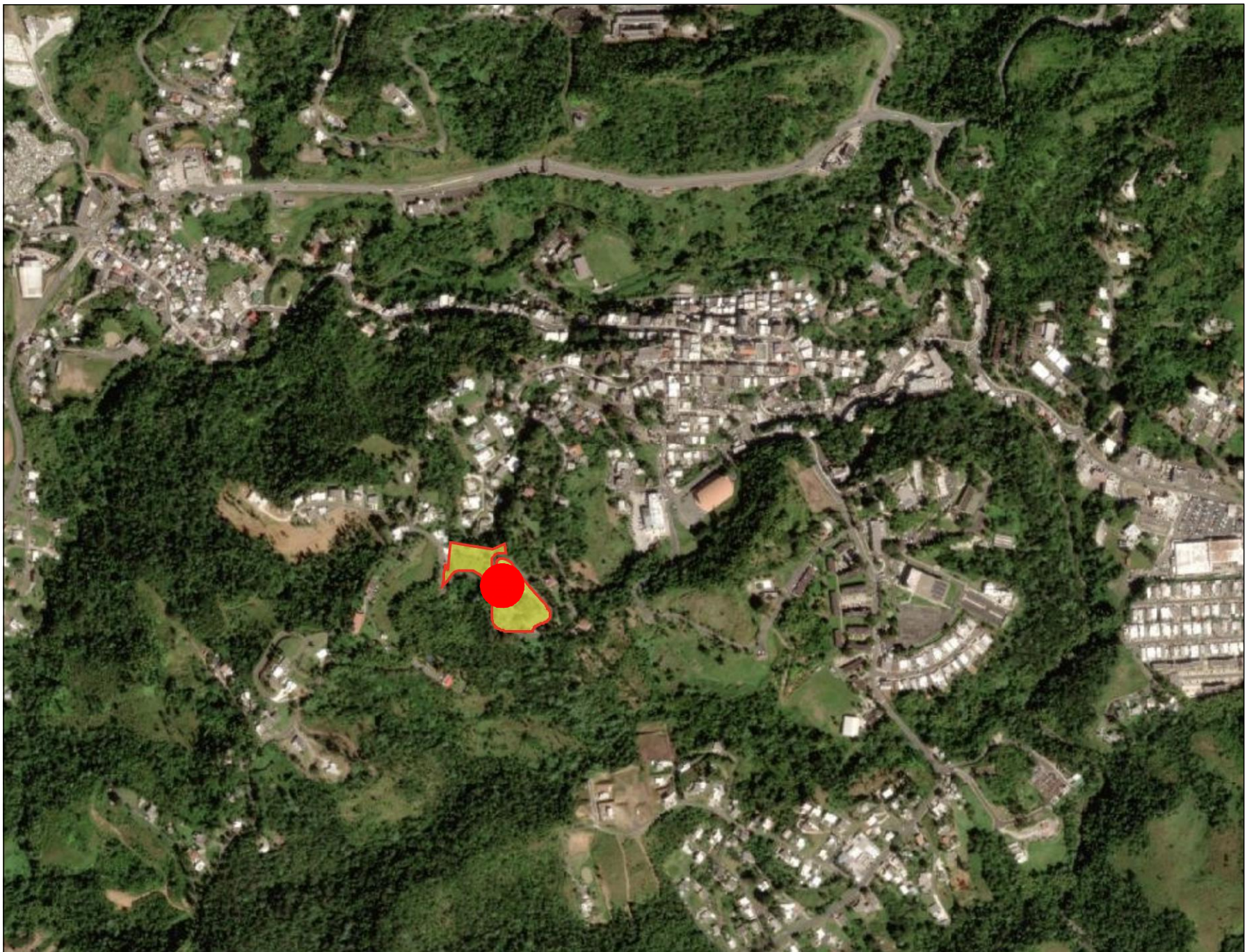


/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - ESHPF-HIM/PROYECTOS/01-14-21-02 EL CORTIJO/PLANOS/T-01 TITLE SHEET C

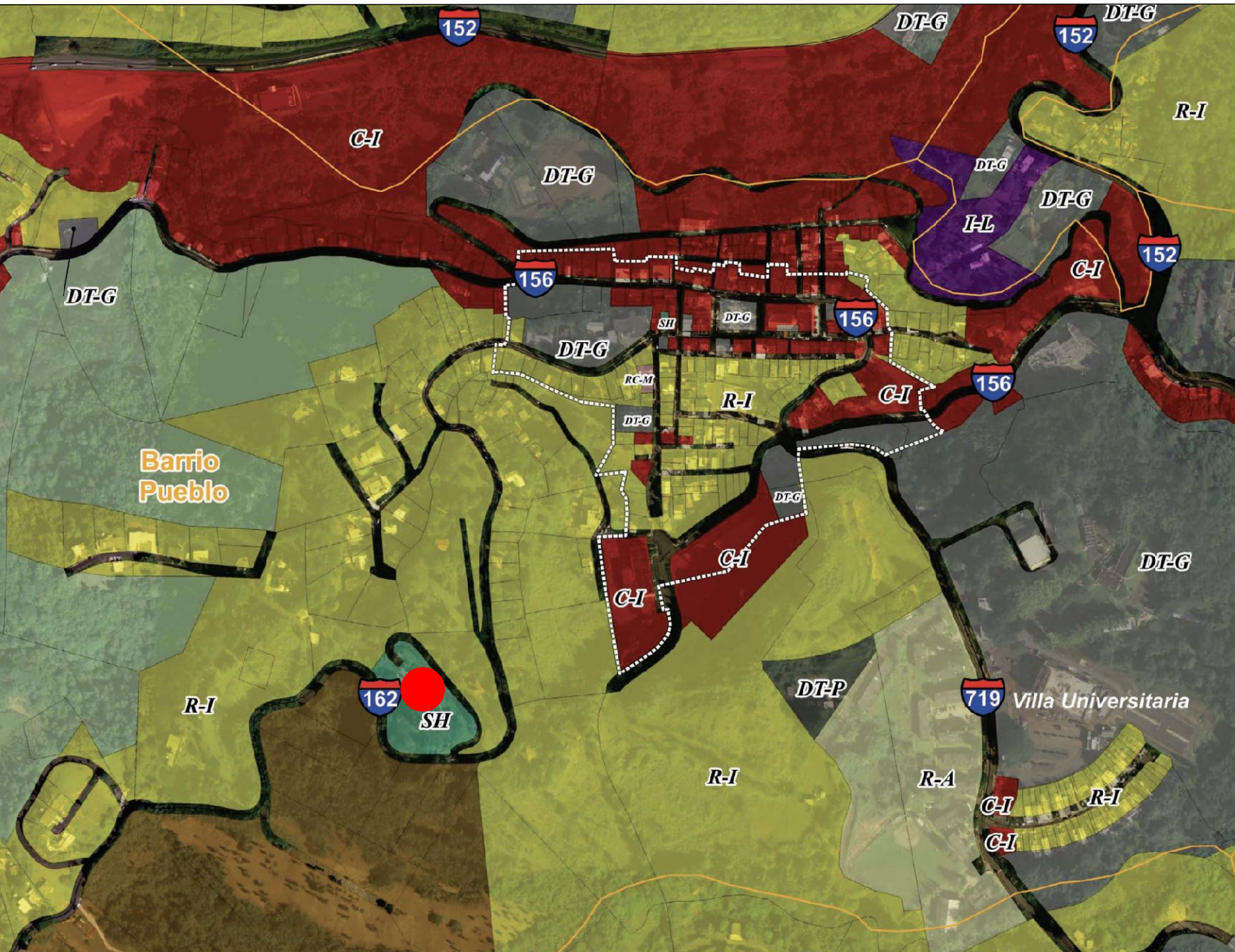
SHPO DELIVERABLES	
Issue	Date
ISSUE FOR REV.	11-18-2022
ISSUE FOR BID.	02-17-2023
ISSUE FOR BID.	04-14-2023



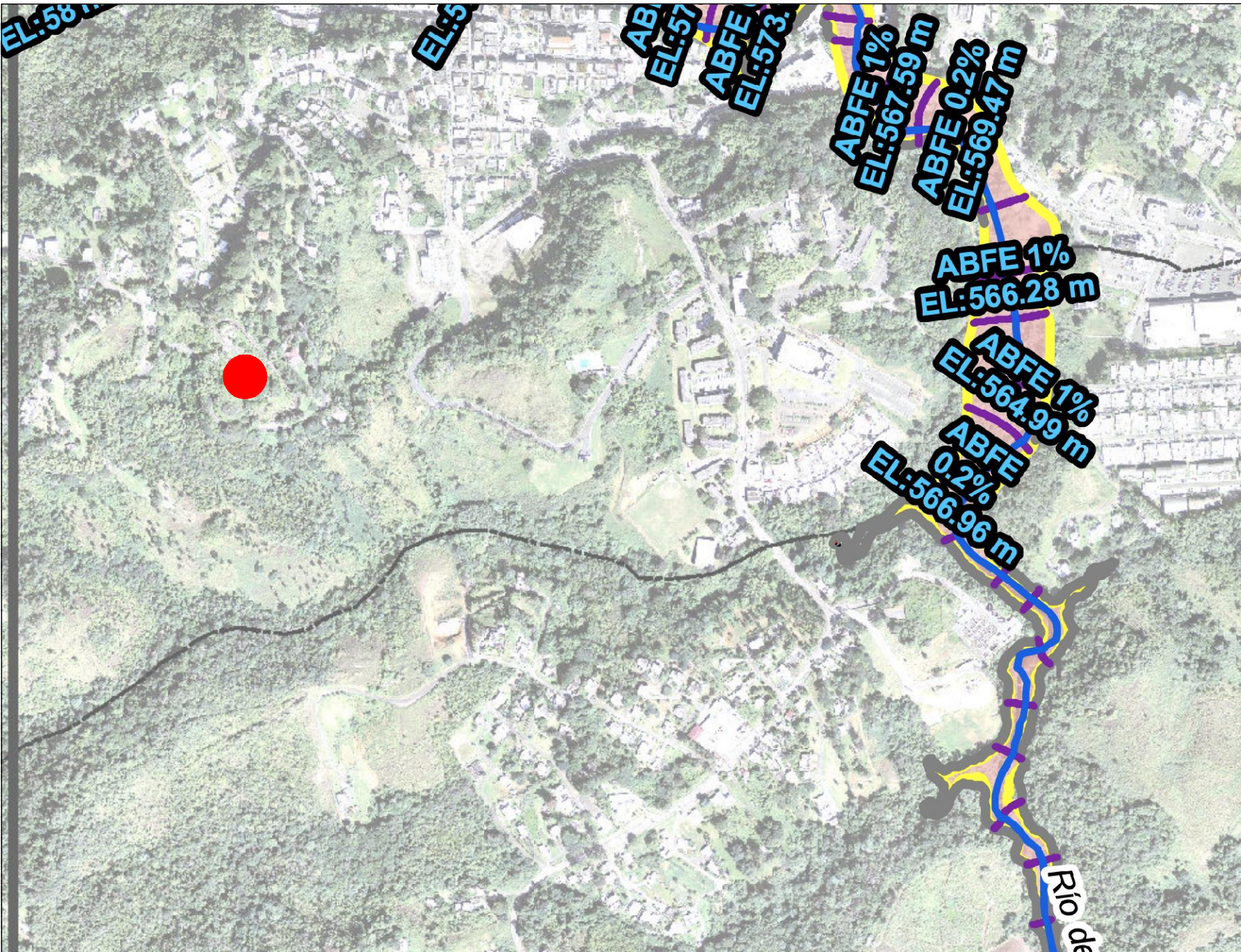
PROPERTY IMAGE
IMAGE TAKEN ON SITE VISIT



LOCATION MAP



MAPA DE CLAFICACIÓN DE SUELOS
BARRANQUITAS, BO. PUEBLO – 4 DE ABRIL DEL 2011



FLOOD MAP
PANEL 1170H MAP 72000C1170H – APRIL 13, 2018

RESTAURACIÓN EL CORTIJO

CATASTRO 273-000-001-02
Km18.5, C. PR 162, Barranquitas, 00705



NATIONAL PARK SERVICE



STATE HISTORIC
PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

EL CORTIJO
BARRANQUITAS, PUERTO RICO

Architect of Record:
Victor M. Villegas, A.I.A.
Registration No. 11445 PR.



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y los especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas, Reglamentadoras o Corporaciones Públicas con Jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1976, según enmendada, según aplicable. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia va sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OGP.

PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

T-01

TITLE SHEET

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

DEMOLITION NOTES:	
1. EXISTING CONDITIONS ILLUSTRATED AS OF JUNE 28, 2022	
2. IT IS NOT THE INTENTION OF THE A/E FIRM TO COVER ALL REQUIRED DEMOLITION AND CLEANING WORK IN THESE DRAWINGS, NOR TO ANTICIPATE EVERY CIRCUMSTANCE UNDER WHICH SPECIFIC TASKS SHALL BE PERFORMED. AS THE INTENTION IS TO ILLUSTRATE ONLY THE MOST SIGNIFICANT DEMOLITION WORK IN THE DRAWINGS, THE G.C. SHALL BE RESPONSIBLE FOR VERIFYING WHICH RESTORATION WORKS REQUIRE DEMOLITION.	
3. ALL DEMOLITION WORK NOT SHOWN IN DRAWINGS, BUT NECESSARY TO PERFORM THE ENTIRE SCOPE OF THE PROJECT SHALL BE DONE BY THE GENERAL CONTRACTOR AT NO EXTRA COST AND TIME NO MATTER THE SIZE.	
4. IT IS THE INTENTION OF THE A/E FIRM TO PRESERVE HISTORIC AS MUCH AS POSSIBLE AND ONLY REPLACING MATERIAL WHEN ABSOLUTELY NECESSARY.	
5. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF ALL ITEMS WITHIN THE PROJECT AREA.	
6. SUBMIT SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR SELECTIVE DEMOLITION WORK TO THE OWNER FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. INCLUDE COORDINATION FOR SHUT-OFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE CONTROL. PROPOSED SEQUENCE OF OPERATION SHALL ENSURE THE INHABITANTS ARE UNDISTURBED.	
7. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF THE WORK, SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE PROJECT'S SITE AND SHALL NOTIFY THE ARCHITECT IN WRITING, OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS WHICH MIGHT AFFECT PROPER DEMOLITION AND CONSTRUCTION WORKS SCHEDULE AND/OR PERFORMANCE. THEREFORE, THE CONTRACTOR SHALL CERTIFY THAT HE HAS VISITED THE PROJECT SITE AND FAMILIARIZED HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO ENTERING INTO A CONSTRUCTION AGREEMENT WITH THE OWNER. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.	
8. DURING DEMOLITION PHASE AND CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INSTALL EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.	
9. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, G.C. TO STOP WORK IN THAT AREA AND NOTIFY OWNER IN WRITING. GC SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.	
10. NONE OF THE WALLS TO DEMOLISH ARE REINFORCED CONCRETE. IF THE CONTRACTOR FINDS A REINFORCED CONCRETE WALL DURING THE DEMOLITION, THE CONTRACTOR SHALL STOP CONSTRUCTION IMMEDIATELY AND REPORT TO THE ARCHITECT.	
11. THE OWNER WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL LOOSE ITEMS SUCH AS ARTWORK, FRAMED PICTURES, FURNITURE, ETC...	
12. CONTRACTOR MUST PRESERVE ALL HISTORIC ITEMS INDICATED TO BE REMOVED AND STORE THEM IN A SECURE PLACE UNTIL REVIEW BY A/E FIRM. ITEMS REVIEWED AND APPROVED BY A/E FOR REMOVAL SHALL DISPOSED OF BY THE CONTRACTOR.	
13. ALL ITEMS INDICATED TO BE RELOCATED ARE TO BE CAREFULLY REMOVED, CLEANED, REPAIRED TO A LIKE-NEW CONDITION, AND STORED IN A SECURE PLACE UNTIL REINSTALLED AS SHOWN ON CONSTRUCTION PLAN OR RCP.	
14. CONTRACTOR MUST FOLLOW ALL PROPER AND LEGAL PROCEDURES REGARDING WASTE DISPOSAL. G.C. SHALL PROVIDE A/E EVIDENCE OF DISPOSAL AT THE APPROPRIATE LANDFILL SITE.	
15. THE OWNER SHALL BE CONTACTED AND NOTIFIED IMMEDIATELY IF ASBESTOS OR LEAD PAINT ARE FOUND IN ANY AREAS OR STRUCTURES OF THE PROJECT NOT PREVIOUSLY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT.	
16. TRASH AND DEBRIS TO BE REMOVED DAILY. KEEP SITE CLEAN.	
17. ALL SCRAP MATERIAL FROM THE DEMOLITION WORKS SHALL BE LEGALLY DISPOSED.	
18. THE CONTRACTOR SHALL TAKE THE REQUIRED MEASUREMENTS TO CONTROL THE DEMOLITION DUST FROM SPREADING OUTSIDE OF AREAS THAT ARE GOING TO BE INTERVENED.	
19. THE CONTRACT CANNOT STORE SCRAP MATERIALS FROM DEMOLITIONS OUTSIDE OF THE DESIGNATED AREAS. DURING THE PRE-CONSTRUCTION PHASE THE G.C. SHALL CONSULT WITH A/E WHICH ARE THE DESIGNATED AREAS FROM SCRAP MATERIALS.	
20. ALL CONSTRUCTION, DEMOLITION & RENOVATION ACTIVITIES SHALL COMPLY WITH NFPA 241, OSHA AND ANY REGULATION THAT INTERFERES WITH THE HEALTH, WELFARE, AND SAFETY OF HIS EMPLOYEES AND FUTURE BUILDING OCCUPANTS.	
21. G.C. SHALL MAINTAIN ON SITE FIRE EXTINGUISHERS TO PROTECT THE HISTORIC PROPERTY IN THE EVENT OF FIRE.	
22. THE CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL OSHA REQUIREMENTS & NORMATIVES.	
23. EXIT ACCESS AND EXITS ARE TO REMAIN CLEAR AND UNOBSTRUCTED.	
24. ANY PART OF THE WORK AND/OR THE EXISTING BUILDING DAMAGED BY THE DEMOLITION PHASE SHALL BE RESTORED TO ITS ORIGINAL CONDITION ACCORDING TO A/E INSTRUCTIONS AT NO COST TO THE OWNER.	
25. ALL DEMOLITION/CONSTRUCTION WORKS SHALL BE COORDINATED WITH THE OWNER IN ORDER TO PREVENT AND AVOID POSSIBLE CONFLICTS WITH THE OWNER'S NORMAL OPERATING CONDITIONS.	
26. THE CONTRACTOR MUST INCLUDE IN THE ECONOMIC PROPOSAL A DETAILED DESCRIPTION OF THE MEANS AND METHODS THAT WILL BE DONE DURING DEMOLITION PHASE TO MINIMIZE AIR POLLUTION.	
27. GC SHALL BE RESPONSIBLE FOR DEMOLITION RULES AND METHODS AS WELL AS TO PROVIDE THE NECESSARY BRACING TO GUARANTEE STRUCTURAL STABILITY DURING THE DEMOLITION/REMOVAL PROCESS OF THOSE ELEMENTS INSTRUCTED ON PLANS AND DURING NEW CONSTRUCTION. IN CASE OF ANY STRUCTURAL COLLAPSE OF ANY ELEMENT TO REMAIN, THESE SHALL BE REPLACED USING ORIGINAL MATERIALS, AT NO COST TO OWNER.	
28. THE CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN, SUBMIT & OBTAIN THE CES PLAN APPROVAL IF APPLICABLE.	
29. DURING THE DEMOLITION PROCESS, THE GENERAL CONTRACTOR IS RESPONSIBLE IN MAINTAINING A HEALTHY AIR QUALITY THAT DOES NOT AFFECT THE HEALTH OF HIS EMPLOYEES.	
30. G.C. SHALL PROTECT ALL ITEMS THAT ARE TO REMAIN SUCH AS FLOORS, WALLS, FINISHES, INFRASTRUCTURE, CEILINGS, DOORS, EQUIPMENT, DOOR HINGES, RAILINGS, BALUSTERS, WALL BASES, LAMPS, ETC...	
31. IF ANY OTHER ELEMENT NOT INSTRUCTED IN THIS DRAWINGS IS NEEDED TO BE REMOVED IN ORDER TO FULFILL THE PROJECT SCOPE, G.C. SHALL NOTIFY AND CONFIRM WITH THE ARCHITECT. SUCH WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.	
32. IF THE COMPLETION OF NEW ENGINEERING INFRASTRUCTURE REQUIRED ADDITIONAL DEMOLITION BY THE G.C. IN WALLS, CEILINGS AND FLOORS THAT IS NOT EXPLICITLY SHOWN IN DRAWINGS. G.C. SHALL CONTEMPLATE THIS ADDITIONAL DEMO AND THE PATCHING AND REPAIRS REQUIRED TO LEAVE AREA AS NEW.	
33. IF PATCHING AND REPAIRS MAY REQUIRE NEW MOLDINGS, NEW GYPSUM, NEW WALL BASES, NEW A.C.T., NEW FLOORS, AMONG OTHERS. NEW WOOD BASES, TRIMS, MOLDINGS AND CASINGS SHALL HAVE THE LENGTH OF THE ORIGINAL ELEMENT BEING REPLACED. THE INTENTION IS TO MINIMIZE JOIN AND SHORT MEMBERS.	
34. G.C. SHALL DISCUSS WITH ARCHITECT PATH OF NEW INFRASTRUCTURE PRIOR TO DEMOLITION. IN ORDER TO DISCUSS HOW TO MINIMIZE DEMO, PATCHING, AND REPAIRS OF EXISTING WALLS/CEILINGS/FLOORS. G.C. REQUIRES ARCHITECT APPROVAL TO PROCEED WITH DEMOLITIONS.	
35. HISTORIC INTERIORS SHOULD BE PROTECTED FROM POTENTIAL DAMAGE DURING CONSTRUCTION WORK. IF ANY DAMAGE DOES OCCUR, THE CONTRACTOR SHALL RESTORE ANY DAMAGE TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.	
36. ALL CONTAMINATED MATERIALS IDENTIFIED BY ENVIRONMENTAL HEALTH & SAFETY SERVICES SHALL BE REMOVED AND SHOULD BE DONE AS PER ICA AND EPA REGULATION. G.C. SHALL OBTAIN ALL THE NECESSARY PERMITS TO PERFORM THE WORKS AND LATER SUBMIT TO THE OWNER ALL THE CERTIFICATIONS REQUIRED BY LAW STATING THAT ALL CONTAMINATED MATERIALS WERE REMOVED FROM THE PROJECT AND LEGALLY DISPOSED.	
37. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENCED ELECTRICIAN.	
38. G.C. SHALL ENSURE A SUPERINTENDENT MUST BE PRESENT DURING THE ENTIRE DEMOLITION PROCESS.	

GENERAL NOTES:	
1. THE DRAWINGS AND NOTES COMPLY, TO THE BEST OF OUR KNOWLEDGE WITH THE APPLICABLE MINIMUM BUILDING CODE.	23. ALL MATERIALS & EQUIPMENTS SHALL BE INSTALLED AS PER MANUF. RECOMMENDATION AND THE BEST PRACTICES OF THE INDUSTRY.
2. THE DRAWINGS DEMOLITION SHOWN ARE A GUIDE FOR THE RESTORATION AND DOES NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GC TO CORRELATE DEMO AND REPAIRS/NEW CONSTRUCTION.	24. G.C. SHALL ALWAYS FOLLOW MANUFACTURER RECOMMENDATIONS FOR THE MANAGE, QUALITY, INSTALLATION AND/OR CONSTRUCTION OF ANY MATERIAL, EQUIPMENT, SYSTEM AND/OR ELEMENT CONTAIN ON THE PROJECT.
3. DIMENSIONS ON DRAWING MAY VARY SLIGHTLY.	25. GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
4. DUE TO THIS BEING A HISTORIC BUILDING, NOT ALL WINDOWS AND DOORS ARE IDENTICAL IN THEIR DIMENSIONS. THE G.C. SHALL BE RESPONSIBLE FOR THE WINDOW/ DOOR REPLACEMENTS TO FIT IN THEIR ORIGINAL LOCATION.	26. CONTRACTOR IS NOT ALLOW TO CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD REDUCE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO.
5. ALL PLAN DIMENSIONS TAKE PRECEDENCE OVER THE SCALING OF THE PLANS. THE DIMENSIONS ARE CALCULATED AND ANNOTATED BY COMPUTER AND ROUNDED TO THE NEAREST INCH. LOCATING PARTITIONS TO CENTERLINE OF MULLIONS (WHERE APPLICABLE) SHALL TAKE PRECEDENCE OVER GIVEN DIMENSIONS.	27. OBTAIN APPROVAL FROM OWNER BEFORE CUTTING AND PATCHING THE FOLLOWING OPERATING BUILDING ELEMENTS OR SAFETY RELATED SYSTEMS: PRIMARY OPERATIONAL SYSTEMS AND EQUIPMENT, AIR OR SMOKE BARRIERS, FIRE PROTECTION SYSTEMS, CONTROL SYSTEMS, COMMUNICATION SYSTEMS, AND ELECTRICAL WIRING SYSTEMS.
6. ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE LOCAL BUILDING CODE AND ALL APPLICABLE ORDINANCES AND PROVISIONS.	28. THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND ALL VENDORS ARE TO VERIFY ALL CLEARANCES (CORRIDORS, STAIRS, ELEVATORS, ETC.) REQUIRED FOR DELIVERIES, PASSAGE OF ALL JOB MATERIALS OR EQUIPMENT. THE OWNER'S PROJECT MANAGER SHALL BE INFORMED OF ANY POTENTIAL OR ACTUAL PROBLEMS WHICH, IN ANY WAY, MIGHT AFFECT WORK, SCHEDULING, ANY VENDORS, SUBCONTRACTORS, ETC. INCLUDING AFTER HOURS DELIVERIES IMPOSED BY OWNER.
7. THE CONTRACTOR SHALL SUBMIT WITH HIS BID PROPOSAL A COMPLETE CONSTRUCTION SCHEDULE TO THE OWNER, WHICH COORDINATES ALL WORK WITH SUPPLIERS AND SUB-CONTRACTORS.	29. THE CONTRACTOR SHALL INCLUDE ALL TEMPORARY UTILITIES (IF APPLICABLE) INCLUDING ELECTRICITY, WATER AND TELEPHONE IN HIS BIDS.
8. THE ARCHITECT AND ENGINEER DO NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING WORK OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	30. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RE-DOING ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS, AND CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR FROM DATE OF MOVE-IN. THESE PROVISIONS APPLY, ALSO, TO WORK DONE BY DIRECT EMPLOYEES OF THE CONTRACTOR, SUB-CONTRACTORS OR VENDORS. NOTHING IN THE ABOVE INTENDS OR IMPLIES THAT THIS GUARANTY SHALL APPLY TO WORK WHICH HAS BEEN ABUSED OR NEGLECTED BY THE OWNER OR HIS SUCCESSOR IN INTEREST.
9. EACH CONTRACTOR & SUBCONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE AND SHALL PROVIDE OWNER WITH A VALID CERTIFICATE.	31. ALL METAL WELDING SHALL BE CONTINUOUS AND SANDED FOR SMOOTH FINISH.
10. ALL CONTRACTORS SHALL PROTECT THE WORK OF OTHER TRADES. ANY & ALL CONFLICTS BETWEEN TRADES ARE TO BE COORDINATED BY THOSE TRADES AND NOTIFICATION OF SUCH CONFLICTS MADE TO THE ARCHITECT AND THE OWNER. ANY DAMAGES SHALL BE REPAIRED BY THE RESPONSIBLE PARTY AT HIS EXPENSE.	32. ALL METAL MATERIALS THAT REQUIRED SCREWS OR BOLTS SHALL USE THE METAL MATERIAL IN KIND.
11. THE CONTRACTOR SHALL EXAMINE ALL AREAS IN WHICH WORK IS TO BE CONSTRUCTED AND SHALL REPORT ANY SUCH WORK WHICH IS NOT IN SUITABLE CONDITION TO RECEIVE WORK UNDER THIS CONTRACT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF THE FINISHED WORK AFTER THE WORK UNDER THIS CONTRACT IS STARTED.	33. ARCHITECT HAS FINAL WORDS OF CONFLICTING INSTRUCTIONS IN DRAWINGS. IF G.C. FINDS CONFLICTING INSTRUCTIONS G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO CREATING WORK, FOR ARCHITECT DECISION.
12. THE CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL VERIFY ARCHITECT'S DIMENSIONS AND DETAILS PRIOR TO INITIAL BID SUBMITTAL. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, DISCREPANCIES AND/OR CONFLICTS IN CONSTRUCTION DOCUMENTS, BEFORE BID SUBMITTAL, WHICH WOULD INTERFERE COMPLETION OF THIS WORK OR WHICH WOULD AFFECT THE BID PRICE. ALL DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER PRIOR TO FINAL BID SUBMITTAL SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. DISCREPANCIES IN DRAWINGS SHALL BE DECIDED BY THE ARCHITECT.	34. ALL CONSTRUCTION SITE SHALL BE EXTREMELY VACUUMED AND CLEANED BEFORE FINAL DELIVERY TO OWNER. NO DUST WILL BE ACCEPTED.
13. ALL WORK IS TO CONFORM TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS. ANY CONDITIONS IN THE FIELD AFFECTING THE DESIGN CONCEPT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SUBMITTAL.	35. ONCE THE WORK IS COMPLETED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SUBMIT DIGITAL AS-BUILT PLANS TO THE ARCHITECT.
14. ALL WORK SHALL BE LIMITED TO THAT SHOWN ON THE PERMIT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND ARCHITECT. ANY ADDITIONAL WORK PERFORMED WITHOUT THIS CONSENT SHALL BE DONE AT THE CONTRACTOR'S SOLE EXPENSE. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN, EXISTING AND/OR NOTED.	36. NO STRUCTURAL MEMBER SHALL BE NOTCHED, CUT, ALTERED OR MOVED IN ANY WAY WITHOUT PREVIOUS WRITTEN AUTHORIZATION FROM ARCHITECT OR STRUCTURAL ENGINEER. THERE SHALL BE NO PENETRATIONS IN PRE-STRESSED BEAMS OR JOISTS AND NO DRILLING OR SHOOTING HANGERS OR PINS IN PRE-STRESSED BEAMS OR PRE-CAST JOISTS.
15. GENERAL CONTRACTOR SHALL HAVE A SUPERVISOR ON SITE WHILE ANY WORK IS BEING DONE.	39. G.C. SHALL BE RESPONSIBLE FOR ENSURING THEY RECEIVED THE ASBESTOS AND LEAD REPORTS DURING THE BIDDING PHASE. G.G. SHALL BE RESPONSIBLE FOR CONSIDERING THE PROJECT REQUIREMENTS THESE REPORTS CREATE AND INCLUDE IT IN THEIR BID PROPOSAL.
16. PROVIDE AND MAINTAIN AT A CONVENIENT LOCATION WITHIN THE JOB SITE, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT DOCUMENTS INCLUDING ALL THE LATEST SHOP DRAWINGS, ADDENDUMS, REVISIONS AND SUPPLEMENT SHEETS FOR REFERENCE AND COORDINATION FOR CONSTRUCTION.	40. GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
17. THE G.C. SHALL BE RESPONSIBLE TO ALWAYS HAVE AVAILABLE WITHIN THE JOB SITE THE DIGITAL INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.	
18. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE WEATHER AS TO MAINTAIN THE WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE. ANY WORK DAMAGED BY FAILURE OF THE CONTRACTOR TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT CONTRACTORS EXPENSE.	
19. ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE SIGNED BY OWNER AND ARCHITECT PRIOR TO EXECUTION.	
20. CONTRACTOR SHALL COORDINATE AND EXPEDITE THE PROCUREMENT OF "LONG LEAD" ITEMS TO ASSURE PROMPT DELIVERY AND INSTALLATION BY MILESTONE DATES ON THE CONSTRUCTION SCHEDULE. ADDITIONAL TIME WILL NOT BE GIVEN TO THE G.C. IF THEY HAVE NOT MET THE SCHEDULED INSTALLATION TIME FOR THESE ITEMS. THE CONTRACTOR SHALL PURCHASE, COORDINATE & INSTALL ALL APPLIANCES AND EQUIPMENT UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMIT DRAWINGS. SPECIFICATIONS AND INSTALLATIONS METHODS PROVIDED BY MANUFACTURE SHALL BE STRICTLY FOLLOWED AND ARE HEREBY MADE A PART OF THESE DOCUMENTS.	
21. CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL OR MECHANICAL EQUIPMENT MAINTENANCE, INSTRUCTION MANUALS, AND ALL OTHER CLOSE-OUT DOCUMENTS TO THE OWNER FOR REVIEW AT FINAL COMPLETION.	
22. ALL WORK SHALL BE DONE IN A NEAT AND SKILLFULL MANNER AND IN ACCORDANCE WITH ALL GOVERNING BODIES, RULES, AND REGULATIONS. REMOVE RUBBISH AND DEBRIS DAILY, LEAVE JOB CLEAN UPON COMPLETION OF WORK, INCLUDING CLEANING OF HARDWARE, FIXTURES, AND GLASS, AND REMOVING OF STAINS, DUST, DIRT, AND PAINT, AND POLISHING OF ALL FINISHED FLOORS AND CABINETRY.	

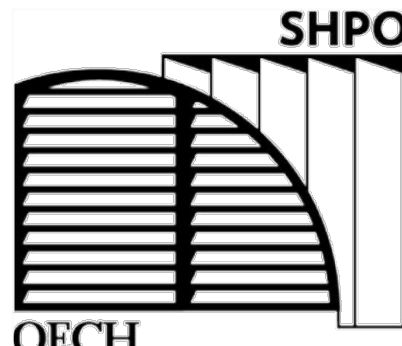
IMPORTANT NOTE:
IT IS RECOMMENDED THAT THE CONSTRUCTION DRAWING SET BE PRINTED IN COLOR AS SOME OF THE PAGES USE COLOR AS A WAY OF DISPLAYING IMPORTANT INFORMATION.

IMPORTANT NOTE
G.C. SHALL CONSIDER THAT ON ALL NOTES, THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

BIDDING SET									
SHEET INDEX									
ISSUE DATES				02-17-2023		04-14-2023			
				BIDDING SET		BIDDING SET			



NATIONAL PARK SERVICE

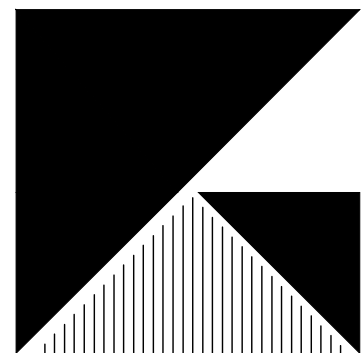


STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

EL CORTIJO

BARRANQUITAS, PUERTO RICO

Architect of Record:
Victor M Villegas, AIA
Registration No. 11445 PR.



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que so el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen co las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntos Reglamentados o Corporaciones Públicas con jurisdicción Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Fuertierqueña y con la Ley Núm. 96 de 6 de julio de 1978, según enmendada, según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia y/o sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, m hacen responsable de cualquier acción judicial y disciplinaria por la OSPA.

PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date

Drawn by	Reviewed by
GM EM CB LR	VV

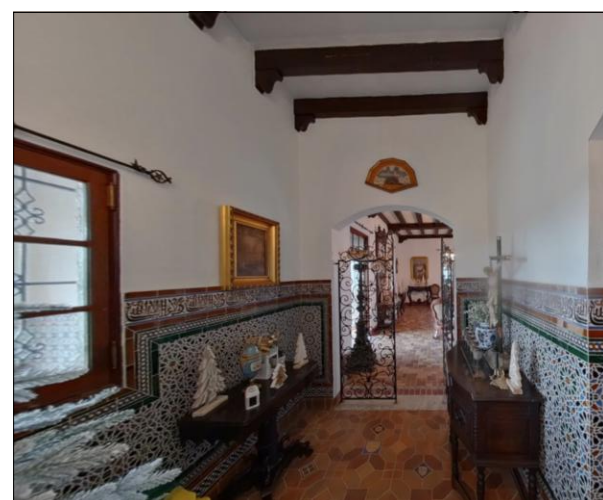
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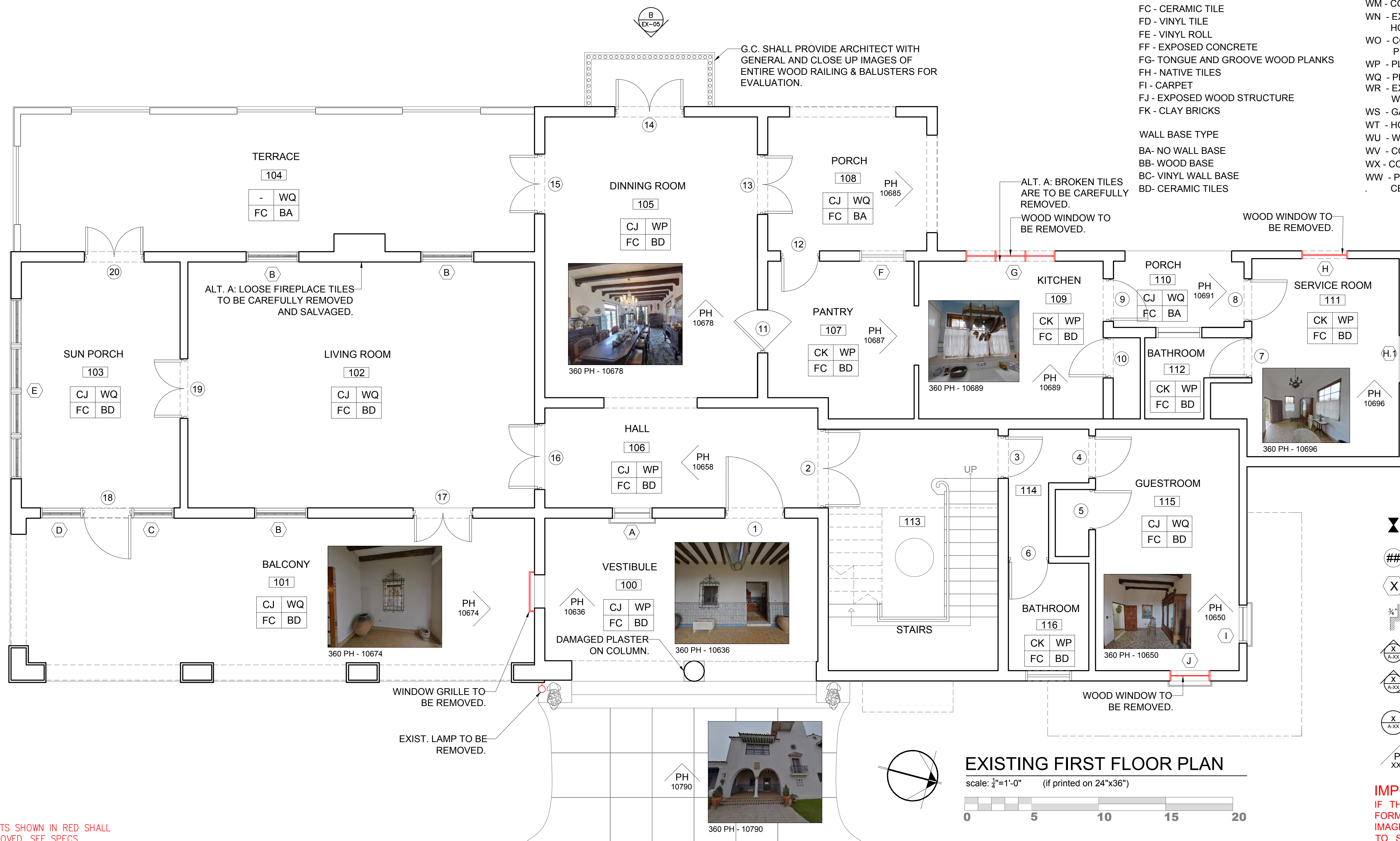
GENERAL NOTES & DETAILS

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023



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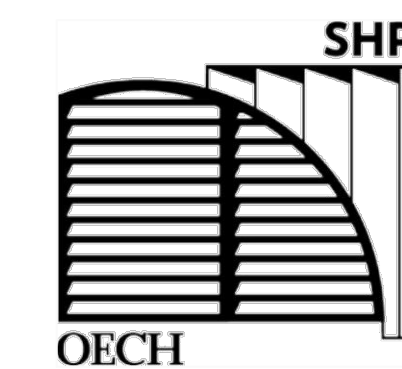


NOTE:
ELEMENTS SHOWN IN RED SHALL
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FORMAT, TAP OR PRESS LEFT CLICK THE
IMAGES ON THE DRAWING TO EXPAND IMAGE
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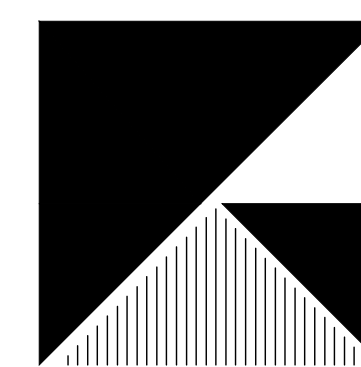
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BARRANQUITAS, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
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Yo, Víctor M. Villegas Durán, Lin. #11445, certifico que soy un profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que en todas las dichas especificaciones se han considerado las disposiciones aplicables del Reglamento General y las disposiciones aplicables a los trabajos de los Cameros de Construcción Vigentes de las Agencias. En los trabajos de los Cameros o Corporaciones Públicas con jurisdicción en el área de las carreteras, se han considerado las especificaciones y se han cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, que establece el sistema de pago de los Cameros de la Industria PuertoRriqueña y con la [Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 396 de 15 de mayo de 1978, según enmendada].

Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento de las disposiciones aplicables a los Cameros de Construcción empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria que se tome en consecuencia.

PROFESSIONAL TEAM:

Víctor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

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EX-01

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BY: V.M.V. DATE: APR 14, 2023

EX. FOURTH FLOOR PLAN

-1 | NATIONAL PARK SERVICE



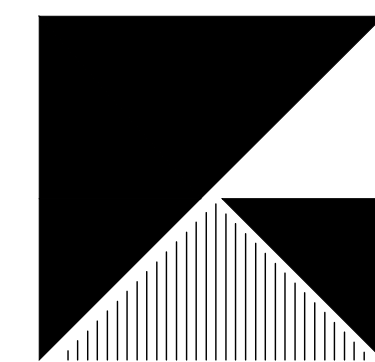
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Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento de las leyes citadas, será responsabilidad exclusiva de los empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria que pueda ser emprendida contra mí.

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Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

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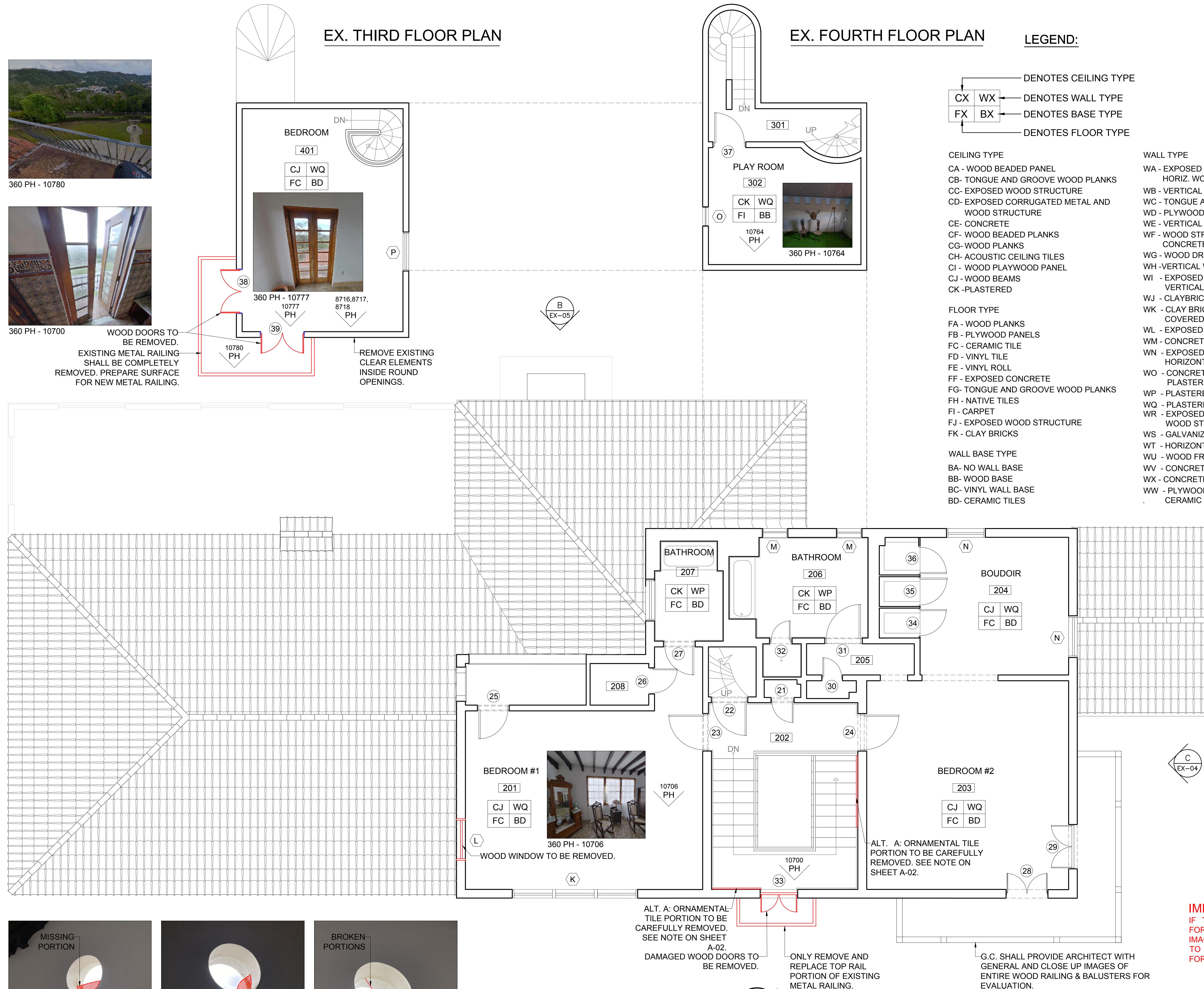
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EX-02

SECOND FLOOR PLAN & TOWER

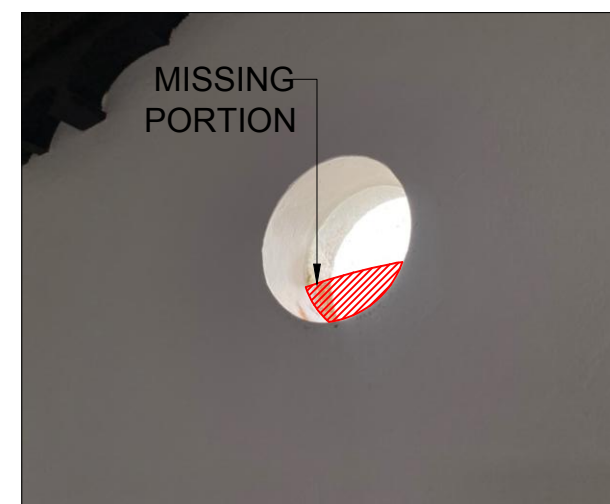
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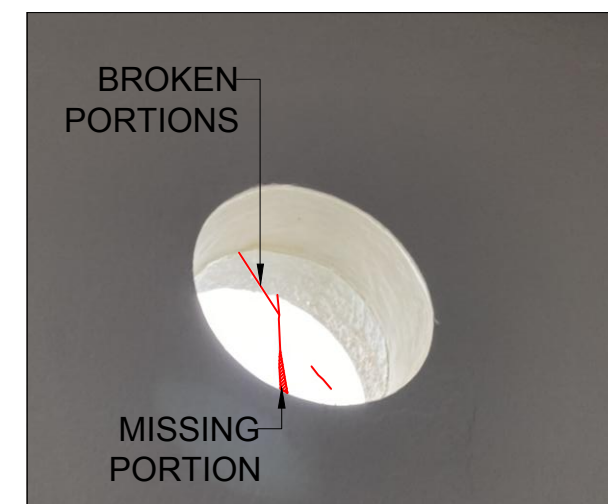
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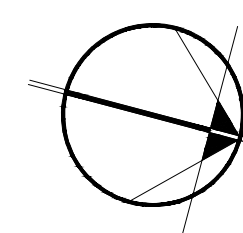
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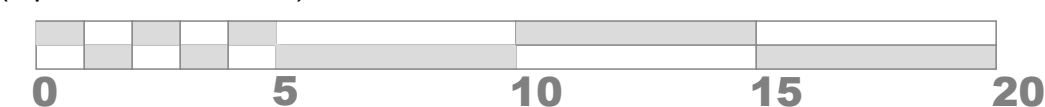


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EXISTING SECOND FLOOR PLAN & TOWER

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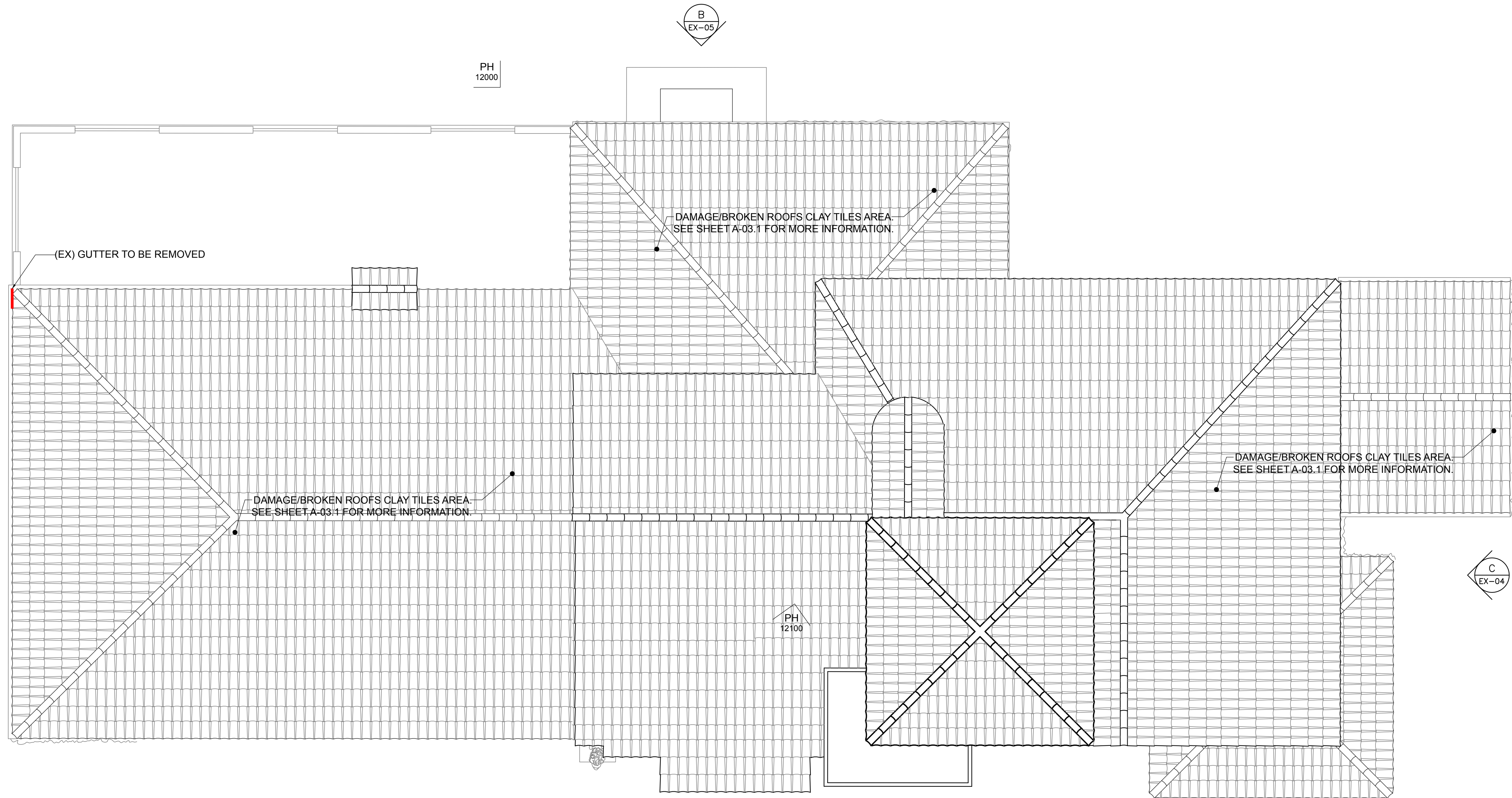




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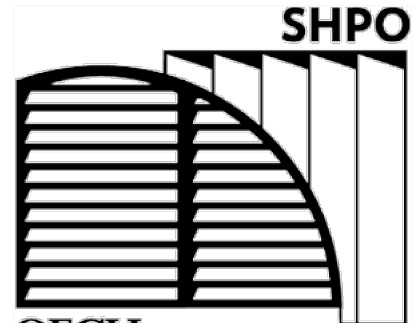


LEGEND:

- DENOTES WINDOW TYPE
- CHANGE IN LEVEL
- DENOTES ELEVATION
- DENOTES BUILDING SECTION
- DAMAGE AREA
- EXISTING GUTTER
- REFERS TO IMAGE ON SHEET



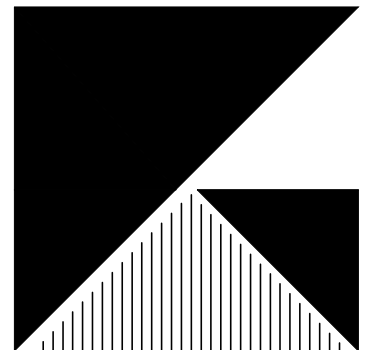
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PROFESSIONAL TEAM:

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Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
1		
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EX-03

EXISTING ROOF PLAN

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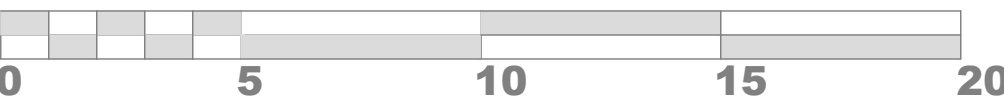
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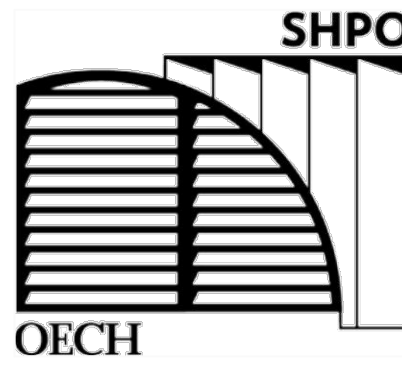
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EX-04



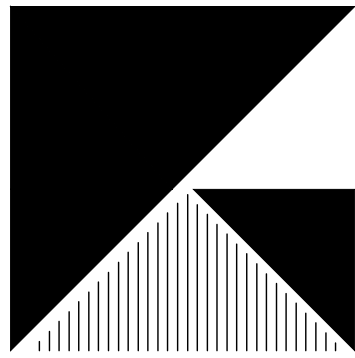
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Elvin E. Melendez
Laurie S. Rivera

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EX-04

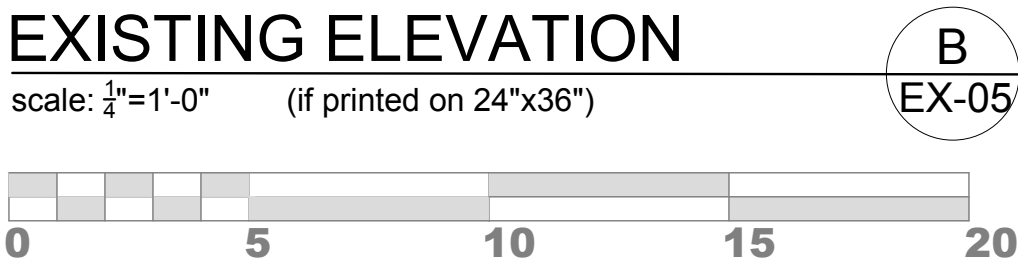
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EX-05
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BY: V.M.V. DATE: APR 14, 2023

GENERAL RESTORATION NOTES:

1. GENERAL RESTORATION NOTES APPLY TO WORK UNLESS SPECIFICALLY INDICATED OTHERWISE.
2. REMOVAL OF MATERIALS SHALL BE ACCOMPLISHED USING MEANS AND METHODS NECESSARY TO MINIMIZE DAMAGE TO ADJACENT AND/OR REMAINING MATERIALS AND FINISHES.
3. ALL TIMES THE PHRASE "MATCH EXISTING" IS USED, CONTRACTOR WILL USE MATERIALS AND METHODS TO MATCH ALL VISUAL CHARACTERISTICS AND FEATURES OF THE EXISTING WORK.
4. ANCHOR BOLTS, DOWELS, INSERTS, HARDWARE, ETC... SHALL BE SECURELY TIED IN PLACE PRIOR TO POURING CONCRETE.
5. FOOTINGS WILL BE POURED AGAINST FIRM, UNDISTURBED NATURAL SOIL OR FILL COMPACTED TO A MINIMUM OF 90%.
6. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH (ROUGH SAWN OR S4S)
 - a. GRADE #2 OR BETTER FOR ALL 2X JOISTS/RAFTERS/LEDGERS
 - b. GRADE #1 OR BETTER FOR ALL 4X OR LARGER BEAMS AND POSTS.
7. WOOD USED IN CONSTRUCTION OF PERMANENT STRUCTURE AND LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD OR REDWOOD.
8. ALL HARDWARE CONNECTORS (NAILS, BOLTS, ETC...) SHALL BE GALVANIZED.
9. A METAL PLATE, METAL STRAP OR WASHER NOT LESS THAN STANDARD CUT WASHER SHALL BE BETWEEN THE WOOD AND BOLT HEAD AND BETWEEN THE WOOD AND THE NUT.
10. FLOOR JOISTS WILL BE DOUBLED UNDER BEARING PARTITIONS RUNNING PARALLEL TO THE JOISTS.
11. BEARING PARTITIONS PERPENDICULAR TO JOISTS WILL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH.
12. BEARING AND EXTERIOR WALL STUDS WILL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS & AT INTERSECTIONS WITH OTHER PARTITIONS. END JOISTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48".
13. HOLD DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING WALL FRAMING.
14. IN ROOF STRUCTURES G.C. MUST ENSURE ALL CONNECTIONS USE SIMPSON STRONG TIE-CONNECTORS, OR EQUIVALENT.
15. G.C. SHALL BE RESPONSIBLE FOR PROTECTING THE INTERIOR OF THE PROPERTY ALWAYS, INCLUDING WHEN THE ROOFING REPAIRS ARE BEING DONE.
16. IT IS POSSIBLE THAT DURING THE PROCESS OF REMOVING THE EXISTING DOORS AND WINDOW FRAMES MAY CAUSE VOIDS IN THE OPENINGS. SINCE THE STRUCTURE IS A HISTORICAL ONE, THESE VOIDS MUST BE RESTORED WITH THE SPECIFIED RESTORATION PROCESS LOCATED IN THE BIDDING SET.
17. DURING THE INSTALLATION PROCESS AND AS PART OF COMPLETING IT, IT IS POSSIBLE THE NEED TO REPAIR THE WINDOW/DOOR NOTCH (MOCHETA) FOLLOWING THE SPECIFICATIONS ON THE FINISHES NOTES.

GENERAL CLEANING NOTES:

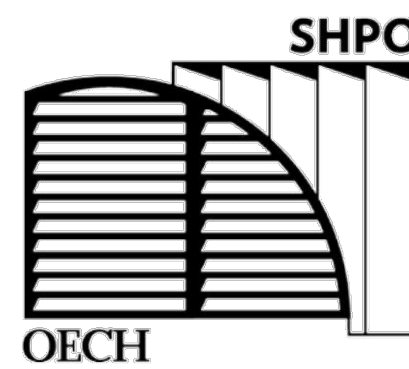
1. ALL ACTIVITIES PERTAINING TO THE CLEANING AND/OR RESTORATION OF THE FAÇADE SHALL BE DONE WITH THE REQUIRED PRECAUTIONS FOR INTERVENING A HISTORICAL PROPERTY, SO AS TO NOT DAMAGE OR ADVERSELY AFFECT ANY OF ITS COMPONENTS.
2. ABRASIVE CLEANING TREATMENTS SUCH AS, BUT NOT LIMITED TO, GRINDING AND DANDING SHALL NOT BE USED BY ANY MEANS.
3. IN CASE OF ACCIDENTAL DAMAGE, CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING/ REPLACING THE AFFECTED AREA/PIECE AT NO EXTRA COST TO THE OWNER. ANY NEEDED INTERVENTION SHALL BE DONE WITH THE ADEQUATE MATERIALS/TECHNIQUE SO AS TO REPLICATE ORIGINAL EXISTING CONDITION. ALL TIMES THE WORD "OWNER" IS USED IT SHALL ALSO REFER TO "OWNERS REPRESENTATIVE".
4. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING BOTH, CLEANING AND COATING PRODUCTS, IN A SMALL AND INCONSPICUOUS AREA PRIOR TO FULL USE AND APPLICATION. TESTING AREA SHALL NOT EXCEED 10'X10'. LOCATION AND TESTING AREA SIZE SHALL BE COORDINATED WITH THE ARCHITECT BEFORE ANY WORK IS DONE.
5. ARCHITECT SHALL BE NOTIFIED WHEN TESTING AREA IS FINISHED BEFORE CONTINUING FULL WORK ON FAÇADE. IN CASE FINAL TESTING RESULTS DO NOT MEET DESIRED FINISH, PRODUCTS AND TECHNIQUES TO BE USED COULD/SHALL BE RE-EVALUATED.
6. EXTERIOR WALLS OF THE FAÇADE SHALL BE CLEANED FROM ALL MOLD AND MILDEW STAINS USING SPORICIDIN MOLD & MILDEW STAIN REMOVER MRC-101-320, CLEAR BY SPORICIDIN PRODUCTS (WWW.SPORICIDIN.COM), OR EQUIVALENT. PRODUCT SHALL BE APPLIED USING A PROFESSIONAL GRADE FOAM SPRAYER WHICH SHALL BE THOROUGHLY CLEANED FROM ANY PREVIOUSLY USED CHEMICAL PRODUCTS AS PER MANUFACTURER'S RECOMMENDATIONS.
7. PRODUCT APPLICATION SHALL BE DONE IN A PROFESSIONAL AND EVEN MANNER SO AS TO ENSURE FULL SURFACE COVERING AND TO AVOID UNEVEN RESULTS. PRODUCT APPLICATION SHALL BE DONE AS PER MANUFACTURER'S RECOMMENDATIONS.
8. IN CASE OF AREAS WITH STUBBORN STAINS, PRODUCT SHALL BE REAPPLIED AND MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED FOR ACHIEVING DESIRED RESULTS. IN CASE SCRUBBING IN NEEDED, ONLY NATURAL OR SYNTHETIC BRISTLE BRUSHED CAN BE USED.
9. HIGH PRESSURE WATER WASHES SHALL NOT BE USED AND BY NO MEANS SHALL THE RECOMMENDED CHEMICAL MIX/PROPORTION OR PRODUCT SETTING TIME BE ALTERED.
10. ALL FAÇADE ELEMENTS NOT REQUIRING CLEANING SHALL BE COVERED AND PROPERLY PROTECTED SO AS TO PREVENT ANY DAMAGE FROM CLEANING/COATING AGENTS.
11. AFTER FINAL CLEANING PRODUCT APPLICATION IS DONE AND RECOMMENDED DRYING TIME HAS PASSES, SPORICIDING MOLD RESISTANT COATING MRC 80-5 CLEAR FLAT BY SPORICIDIN PRODUCTS (WWW.SPORICIDIN.COM), OR EQUIVALENT, SHALL BE APPLIED USING AN AIRLESS SPRAYER IN MEDIUM PRESSURE SETTING AND A 0.018 SPRAY TOP, AS PER MANUFACTURER'S RECOMMENDATIONS, TO PREVENT FUTURE MOLD GROWTH.
12. ALL PRODUCTS TO BE USED FOR THE CLEANING/COATING TREATMENTS OF THE FAÇADE SHALL BE MANAGED AND APPLIED FOLLOWING THE MANUFACTURER'S GUIDELINES AND FOR CONTACTING AN AUTHORIZED TECHNICAL REPRESENTATIVE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE STORAGE AND DISPOSAL OF PRODUCTS AS PER MANUFACTURER'S GUIDELINES.

IMPORTANT NOTE

G.C. SHALL CONSIDER THAT ON ALL NOTES, THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE



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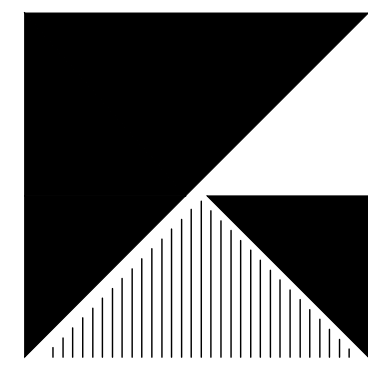


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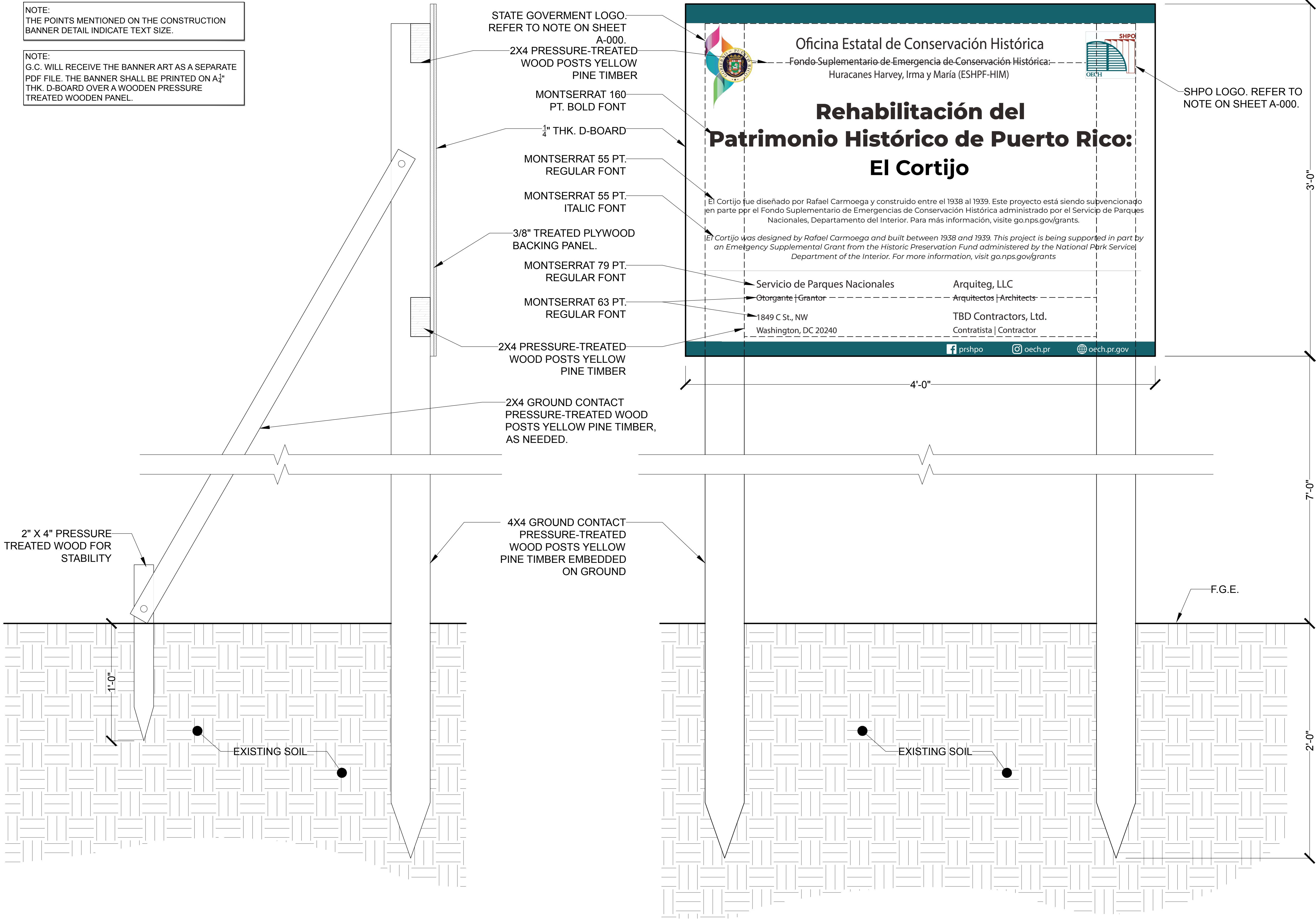
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GENERAL RESTORATION NOTES

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BY: V.M.V

DATE: APR 14, 2023



CONSTRUCTION BANNER SECTION
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CONSTRUCTION BANNER ELEVATION
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PROFESSIONAL TEAM:

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Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-000

CONSTRUCTION BANNER DETAIL

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

IMPORTANT NOTE:
G.C. SHALL BE RESPONSIBLE FOR PAINTING ALL EXISTING EXTERIOR DOORS, WINDOWS, AND GRILLES. DOORS, WINDOWS AND GRILLES THAT ARE TO BE INSTALLED NEW SHALL ALSO BE PAINTED. SEE SPECS.

ALTERNATE A
G.C. SHALL CONSIDER AS PART OF ALTERNATE A OF INTERIOR REPAIRS THE REPLACEMENT OF MISSING KITCHEN BACKSLASH TILE. THIS ALTERNATE ALSO INCLUDES THE REPAIR OF THE MAIN STAIRCASE WALL AND THE CAREFUL REMOVAL AND REINSTALLATION OF THE WALL TILE. G.C. SHALL REPAIR THE PORTION OF THE WALL THAT HAS BEEN AFFECTED BY WATER FILTRATIONS, NOTICEABLY SHOWING A BUMP WHEREAS THE WALL THAT IS UNAFFECTED REMAINS VERTICAL.
G.C. SHALL CONSIDER ALSO AS PART OF THIS ALTERNATE THE REPLACEMENT, IN KIND, OF THE MARBLE IN THE FIREPLACE FACADE.

ALTERNATE B
G.C. SHALL REFINISH WINDOW GRILLES CORRESPONDING TO WINDOWS "A", "I" AS MARKED ON SHEET A-01. SEE SPECS. GC. IS ALSO RESPONSIBLE FOR REFINISHING THE WOODEN BALUSTRADES ON THE SECOND FLOOR BALCONY AND ON 1ST FLOOR DINNING ROOM AND PORCH.
G.C. SHALL REFINISH DOOR MKD. 12 ON SHEET A-01. SEE SPECS.
G.C. SHALL BE RESPONSIBLE FOR CLEANING AND REMOVING VEGETATION ON THE ENTIRE ROOF AND ROOF TILES .

ALTERNATE C
G.C. SHALL CONSIDER AS PART OF ALTERNATE C THE INSTALLATION OF BATTERY SMOKE DETECTORS ON ALL INTERIOR ROOMS.

SPECIAL NOTE
THE SCOPE OF THIS PROJECT DOES NOT INCLUDE DOING SPECIFIC WORK RELATING TO ADDING ELECTRICAL DEVICES AND/OR UPDATING THE ELECTRICAL SYSTEM SO THAT THEY ARE IN COMPLIANCE WITH CURRENT CODES, HOWEVER IF IN THE PROCESS OF ATTENDING THE REPAIRS THE CONTRACTOR SEES IN THE NEED TO DISCONNECT AND RECONNECT ANY ELECTRICAL RUNNING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ATTEND IT AT ITS COST AND IN COMPLIANCE WITH NEC REGULATIONS.

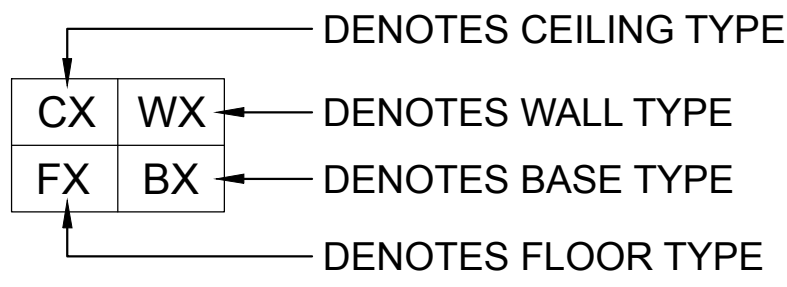
GRILLE NOTE
ALL EXISTING BRONZE ELEMENTS INCLUDED IN THE WINDOW GRILLE SHALL BE CAREFULLY REMOVED AND RESTORED. THESE ELEMENTS ARE TO BE REUSED IN THE NEW ALUMINUM GRILLE OR IN THE RESTORED GRILLES.

NEW GRILLE MUST BE ANCHORED TO THE WALL IN A WAY THAT IS IDENTICAL TO HOW THE ORIGINAL GRILLE IS ANCHORED.

ALTERNATE D
G.C. SHALL CONSIDER AS PART OF ALTERNATE D THE PAINTING OF ALL EXISTING INTERIOR ARCHITECTURAL ELEMENTS, SUCH AS BUT NOT LIMITED TO; WALLS,CEILINGS WOOD DOORS & WINDOWS, WOOD DOORS AND WINDOW FRAMES. PLEASE REFER TO PAINT SPECS ON FINISHES NOTES.

NOTE:
ALL DIMENSIONS MUST BE VERIFIED ON SITE.
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

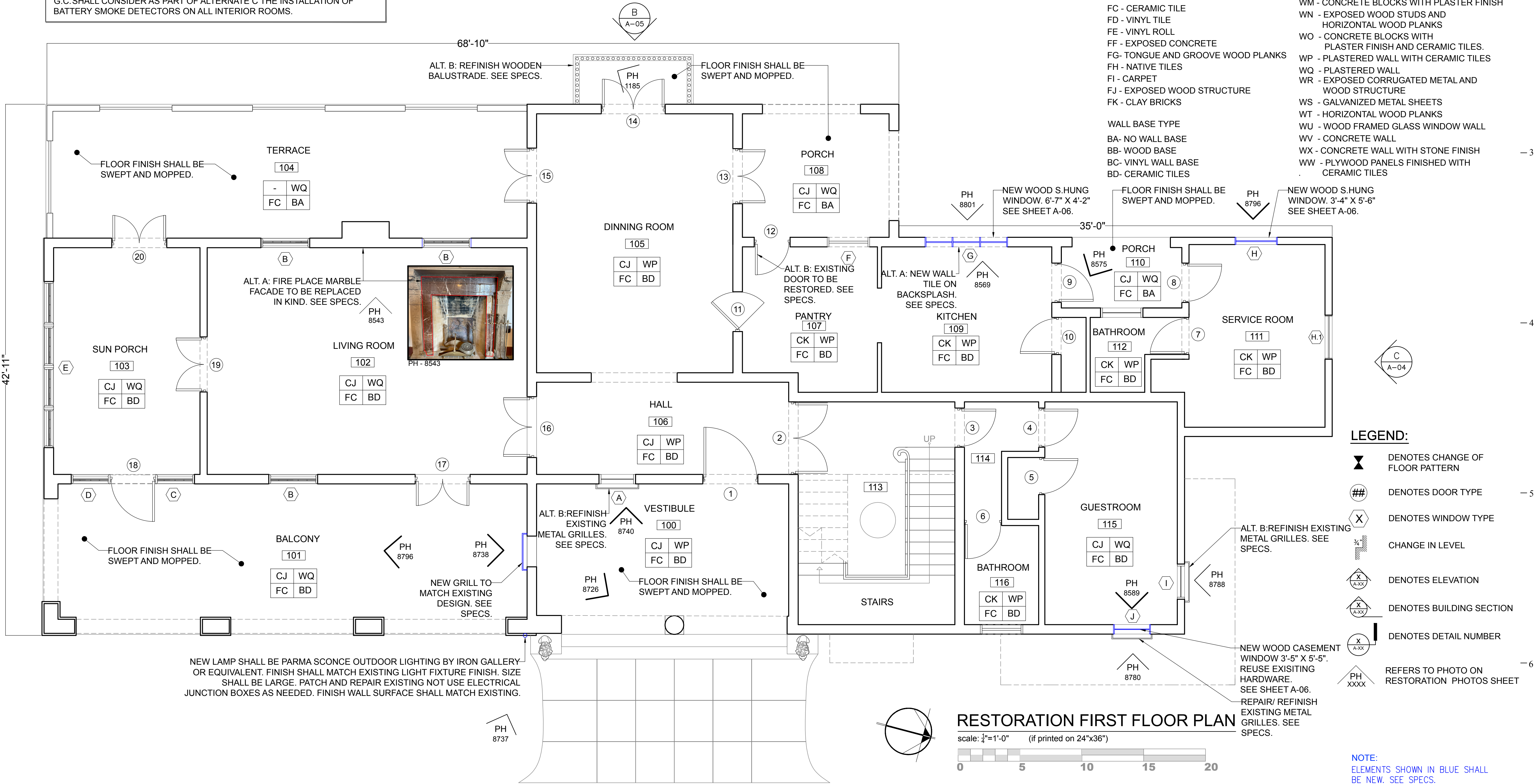
LEGEND:



CEILING TYPE
CA - WOOD BEADED PANEL
CB- TONGUE AND GROOVE WOOD PLANKS
CC- EXPOSED WOOD STRUCTURE
CD- EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
CE- CONCRETE
CF- WOOD BEADED PLANKS
CG- WOOD PLANKS
CH- ACOUSTIC CEILING TILES
CI - WOOD PLAYWOOD PANEL
CJ - WOOD BEAMS
CK - PLASTERED
FLOOR TYPE
FA - WOOD PLANKS
FB - PLYWOOD PANELS
FC - CERAMIC TILE
FD - VINYL TILE
FE - VINYL ROLL
FF - EXPOSED CONCRETE
FG- TONGUE AND GROOVE WOOD PLANKS
FH - NATIVE TILES
FI - CARPET
FJ - EXPOSED WOOD STRUCTURE
FK - CLAY BRICKS

WALL BASE TYPE
BA- NO WALL BASE
BB- WOOD BASE
BC- VINYL WALL BASE
BD- CERAMIC TILES

WALL TYPE
WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS
WB - VERTICAL WOOD PLANKS
WC - TONGUE AND GROOVE WOOD PLANKS
WD - PLYWOOD PANELS
WE - VERTICAL WOOD BEADED PANELS
WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES
WG - WOOD DROP SIDING
WH -VERTICAL WOOD BEADED PLANKS
WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD PLANKS
WJ - CLAYBRICK WALL WITH PLASTER FINISH
WK - CLAY BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.
WL - EXPOSED CONCRETE BLOCKS
WM - CONCRETE BLOCKS WITH PLASTER FINISH
WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD PLANKS
WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.
WP - PLASTERED WALL WITH CERAMIC TILES
WQ - PLASTERED WALL
WR - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
WS - GALVANIZED METAL SHEETS
WT - HORIZONTAL WOOD PLANKS
WU - WOOD FRAMED GLASS WINDOW WALL
WV - CONCRETE WALL
WX - CONCRETE WALL WITH STONE FINISH
WW - PLYWOOD PANELS FINISHED WITH CERAMIC TILES



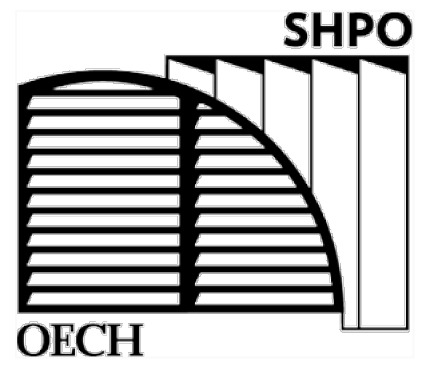
LEGEND:

- Denotes Change of Floor Pattern
- Denotes Door Type
- Denotes Window Type
- Change in Level
- Denotes Elevation
- Denotes Building Section
- Denotes Detail Number
- Refers to Photo on Restoration Photos Sheet

NOTE:
ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.



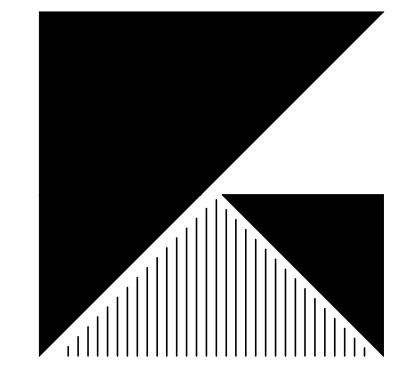
NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

EL CORTIJO
BARRANQUITAS, PUERTO RICO

Architect of Record:
Victor M Villegas, A.I.A
Registration No. 11445 PR.



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No.	Issue	Date
1		
2		
3		
4		
5		
6		

Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A-01

RESTORATION FIRST FLOOR PLAN

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

PHOTO #8801 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE AND REPLACE EXISTING SINGLE HUNG WOOD WINDOW ON KITCHEN MKD "G" WITH NEW. | WINDOW CURTAINS SHALL BE REMOVED, CLEANED, STORED AND REINSTALLED. | SEE WINDOW DETAILS, SCHEDULE AND NOTES FOR ADDITIONAL IMPORTANT INFORMATION. SEAL ALL PERIMETER.

PHOTO #8796 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE AND REPLACE EXISTING WOOD WINDOW MKD "H" WITH NEW ON SERVICE ROOM. | WINDOW CURTAINS SHALL BE REMOVED, CLEANED, STORED AND REINSTALLED. | SEE WINDOW DETAILS, SCHEDULE AND NOTES FOR ADDITIONAL IMPORTANT INFORMATION.

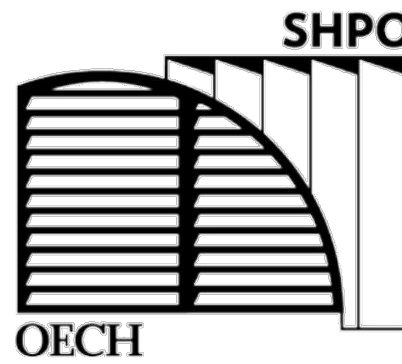
PHOTO #1185 / REFER TO FLOOR PLAN.



G.C. SHALL REFINISH ALL THE BALUSTERS | BEFORE PROCEEDING, G.C. SHALL TAKE GENERAL AND CLOSE UP IMAGES OF BALUSTERS CURRENT CONDITIONS FOR A/E REVIEW. | ENTIRE RAILING SHALL BE THOROUGHLY SCRAPPED FROM EXISTING PAINT BEFORE REPAINTING. | SEE FINISH NOTES FOR ADDITIONAL INFORMATION. | THIS REPAIR BELONGS TO ALTERNATE B.



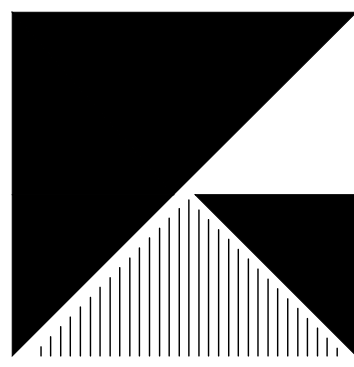
NATIONAL PARK SERVICE



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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A - 01.1
RESTORATION PHOTOS
1ST FLOOR

ISSUE FOR BIDDING
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BY: V.M.V. DATE: APR 14, 2023

PHOTO #8780 / REFER TO FLOOR PLAN.



G.C. SHALL REFINISH WINDOW GRILLE. SOME PORTIONS, MARKED ON THE IMAGES ABOVE, OF THE GRILLE ARE CORRODED, IN WHICH CASE G.C. SHALL REMOVE AND MAKE NEW ALL CORRODED WINDOW GRILLE ELEMENTS. NEW WINDOW GRILLE ELEMENTS SHALL MATCH SHAPE, QUALITY, MATERIAL, FINISH, SIZE AND DIMENSIONS. WINDOW GRILLE SHALL BE WORKED ON IN PLACE, THERE IS NO NEED TO REMOVE ENTIRE GRILLE. G.C. SHALL NOT BREAK OR DETACH WALL PLASTERING. NEW ELEMENTS SHALL BE CONTINUOUSLY WELDED, NO EXCEPTIONS. SEE FINISH NOTES FOR ADDITIONAL INFORMATION.

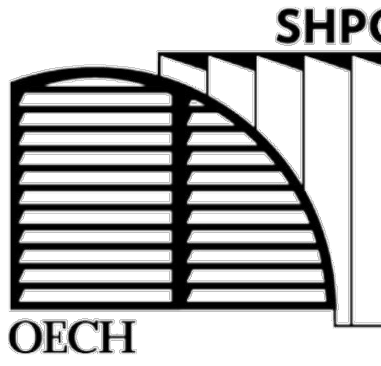
PHOTO #8738 / REFER TO FLOOR PLAN.



EXISTING WINDOW GRILLE TO BE REMOVED AND REPLACED BY NEW. NEW WINDOW GRILLE, SHALL BE MADE WITH ALUMINUM AND MATCH EXISTING DESIGN. G.C. SHALL PROVIDE SHOP DRAWING FOR ARCHITECTS APPROVAL BEFORE PROCEEDING. SEE FINISH NOTES FOR ADDITIONAL INFORMATION. NEW GRILLE MUST BE ANCHORED TO THE WALL IN A WAY THAT IS IDENTICAL TO HOW THE ORIGINAL GRILLE IS ANCHORED.



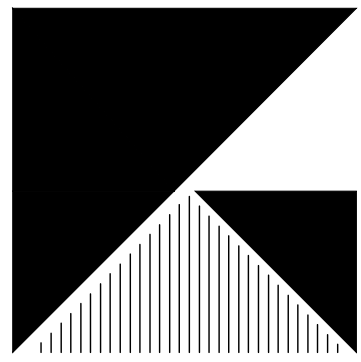
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A - 01.2
RESTORATION PHOTOS
1ST FLOOR

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

PHOTO #8737 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE AND REPLACE DAMAGED LIGHTING FIXTURE SCONCE. FOR NEW MODEL SPEC REFER TO SHEET A-01| G.C. SHALL MAKE SURE NO ELECTRICAL DAMAGE EXISTS, AND THAT WHEN THE NEW LIGHTING FIXTURE IS INSTALLED EVERYTHING WORKS PROPERLY. | IF THERE ARE ELECTRICAL ISSUES G.C. SHALL FIX ACCORDINGLY.

PHOTO #8726 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL PATCH AND REPAIR COLUMN PLASTER. REFER TO FINISH NOTES FOR ADDITIONAL INSTRUCTIONS. | LEAD-BASED PAINT FOUND ON PAINTED SURFACE ACCORDING TO LBP REPORT. G.C. SHALL BE RESPONSIBLE FOR FOLLOWING PROPER LEAD ABATEMENT PROCEDURE.

PHOTO #8569 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE ALL SHOWN DAMAGED PORTION OF KITCHEN WALL TILES AND REPLACE WITH NEW. G.C. SHALL REQUEST EXISTING TILES STORED BY OWNER AND USED THOSE TO THIS REPAIR. IN THE CASE THAT MORE TILES ARE NEEDED TO COVERED ALL THE DAMAGED AREA, NEW TILES SHALL BE BY AMERICAN OLEAN MATCHING EXISTING. | CERAMIC TILE GROUT SHALL ALSO MATCH EXISTING. | THIS REPAIR BELONGS TO ALTERNATE A.

PHOTO #8788 / REFER TO FLOOR PLAN.



G.C. SHALL REFINISH WINDOW GRILLE ELEMENTS. WINDOW GRILLE REFINISHING SHALL BE WORKED ON IN PLACE, THERE IS NO NEED TO REMOVE. G.C. SHALL NOT BREAK OR DETACH WALL PLASTERING. SEE FINISH NOTES FOR ADDITIONAL INFORMATION. | THIS REPAIR BELONGS TO ALTERNATE B.

PHOTO #8740 / REFER TO FLOOR PLAN.



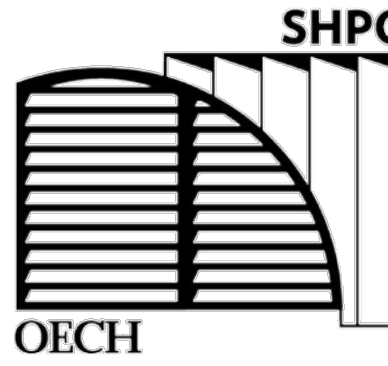
PHOTO #8796 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL THOROUGHLY DEEP CLEAN EXTERIOR WOOD BEAMS WITH PRESSURED WATER IN ORDER TO PROPERLY REMOVE ALL THE DIRT AND MOLD. SPECIAL CARE SHALL BE TAKEN WHEN USING PRESSURED WATER SO AS TO NOT DAMAGE THE BEAMS.



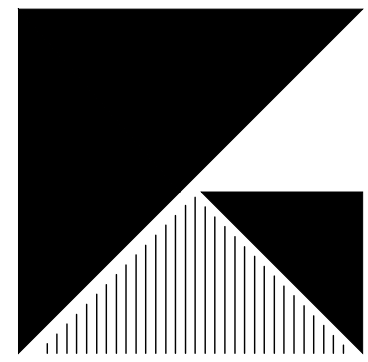
NATIONAL PARK SERVICE



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No.	Issue	Date
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Drawn by	Reviewed by
GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A - 01.3

RESTORATION PHOTOS
1ST FLOOR

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023

NOTE:
ELEMENTS SHOWN IN BLUE SHALL
BE NEW. SEE SPECS.

RST. FOURTH FLOOR PLAN

scale: 1/4"=1'-0" (if printed on 24"x36")

ALTERNATE D
G.C. SHALL CONSIDER AS PART OF ALTERNATE D THE PAINTING OF ALL EXISTING INTERIOR ARCHITECTURAL ELEMENTS, SUCH AS BUT NOT LIMITED TO; WALLS, CEILINGS WOOD DOORS & WINDOWS, WOOD DOORS AND WINDOW FRAMES. PLEASE REFER TO PAINT SPECS ON FINISHES NOTES.

NEW METAL BALUSTRADE.
SEE SHEET A-02.2, PHOTO
#8706 FOR ADDITIONAL
INFORMATION.

FLOOR FINISH SHALL BE
SWEEPED AND MOPPED.

BEDROOM

401
CJ WQ
FC BD

NEW PROPOSED
WOOD DOORS. SEE
SHEET A-06.

PH
8684

PH
8706

PH
8681

REPLACE ELEMENTS
INSIDE CIRCULAR
OPENING "IN-KIND".

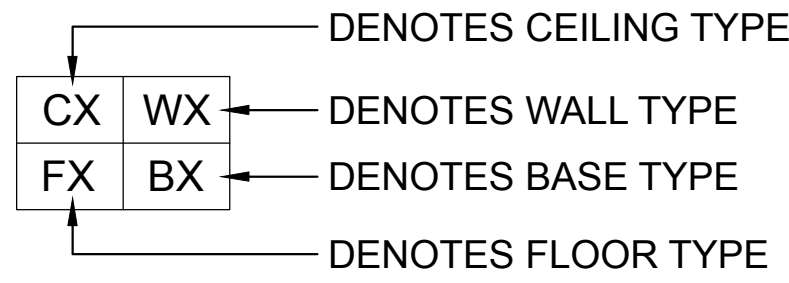
RST. THIRD FLOOR PLAN

scale: 1/4"=1'-0" (if printed on 24"x36")

PLAY ROOM

302
CK WQ
FI BB

LEGEND:



CEILING TYPE
CA - WOOD BEADED PANEL
CB - TONGUE AND GROOVE WOOD PLANKS
CC - EXPOSED WOOD STRUCTURE
CD - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
CE - CONCRETE
CF - WOOD BEADED PLANKS
CG - WOOD PLANKS
CH - ACOUSTIC CEILING TILES
CI - WOOD PLAYWOOD PANEL
CJ - WOOD BEAMS
CK - PLASTERED

FLOOR TYPE
FA - WOOD PLANKS
FB - PLYWOOD PANELS
FC - CERAMIC TILE
FD - VINYL TILE
FE - VINYL ROLL
FF - EXPOSED CONCRETE
FG - TONGUE AND GROOVE WOOD PLANKS
FH - NATIVE TILES
FI - CARPET
FJ - EXPOSED WOOD STRUCTURE
FK - CLAY BRICKS

WALL BASE TYPE
BA - NO WALL BASE
BB - WOOD BASE
BC - VINYL WALL BASE
BD - CERAMIC TILES

NOTE:
ALL DIMENSIONS MUST BE VERIFIED ON SITE.

EXACT LOCATION AND SIZE OF ROOF DRAINS
TO BE VERIFIED ON SITE.

WALL TYPE
WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS
WB - VERTICAL WOOD PLANKS
WC - TONGUE AND GROOVE WOOD PLANKS
WD - PLYWOOD PANELS
WE - VERTICAL WOOD BEADED PANELS
WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES
WG - WOOD DROP SIDING
WH - VERTICAL WOOD BEADED PLANKS
WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD PLANKS
WJ - CLAYBRICK WALL WITH PLASTER FINISH
WK - CLAY BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.
WL - EXPOSED CONCRETE BLOCKS
WM - CONCRETE BLOCKS WITH PLASTER FINISH
WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD PLANKS
WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.
WP - PLASTERED WALL WITH CERAMIC TILES
WQ - PLASTERED WALL
WR - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
WS - GALVANIZED METAL SHEETS
WT - HORIZONTAL WOOD PLANKS
WU - WOOD FRAMED GLASS WINDOW WALL
WV - CONCRETE WALL
WX - CONCRETE WALL WITH STONE FINISH
WW - PLYWOOD PANELS FINISHED WITH CERAMIC TILES

- ▲ DENOTES CHANGE OF FLOOR PATTERN
- ## DENOTES DOOR TYPE
- X DENOTES WINDOW TYPE
- 3/4" CHANGE IN LEVEL
- X A.XX DENOTES ELEVATION
- X A.XX DENOTES BUILDING SECTION
- X A.XX DENOTES DETAIL NUMBER
- PH XXXX REFERS TO PHOTO ON RESTORATION PHOTOS SHEET

TILE & WALL RESTORATION NOTE
AS PART OF ALTERNATE A, STAIR TILE AND WALL RESTORATION, THE G.C. SHALL CONSIDER 50 SF OF TILE AND WALL AREA TO BE INCLUDED IN THE QUOTE. IF THIS NUMBER EXCEEDS THE AREA WORKED ON, A CREDIT SHALL BE GIVEN.

TILE REMOVAL NOTE
DURING THE RESTORATION WORK OF THE TILES IN THE STAIRCASE, THE G.C. SHALL BE RESPONSIBLE FOR THEIR CAREFUL REMOVAL AND INSTALLATION. IN CASE AN EXISTING TILE BREAKS DURING THE WORK, THE G.C. SHALL BE RESPONSIBLE FOR REPLACING IT WITH AN IDENTICAL REPRODUCTION WITH CHARACTERISTICS EQUIVALENT TO THE ORIGINAL TILE.

ALTERNATE C
G.C. SHALL CONSIDER AS PART OF ALTERNATE C THE INSTALLATION OF BATTERY SMOKE DETECTORS ON ALL INTERIOR ROOMS. SEE NOTE ON SHEET A-03.

ALTERNATE A
G.C. SHALL CONSIDER AS PART OF ALTERNATE A OF INTERIOR REPAIRS THE REPLACEMENT OF MISSING KITCHEN BACKSPASH TILE. THIS ALTERNATE ALSO INCLUDES THE REPAIR OF THE MAIN STAIRCASE WALL AND THE CAREFUL REMOVAL AND REINSTALLATION OF THE WALL TILE. G.C. SHALL REPAIR THE PORTION OF THE WALL THAT HAS BEEN AFFECTED BY WATER FILTRATIONS, NOTICEABLY SHOWING A BUMP WHEREAS THE WALL THAT IS UNAFFECTED REMAINS VERTICAL. G.C. SHALL CONSIDER ALSO AS PART OF THIS ALTERNATE THE REPAIR OF THE FIREPLACE FACADE. SEE SPECS.
G.C. SHALL CONSIDER AS PART OF ALTERNATE A THE PAINTING OF ALL EXISTING INTERIOR ARCHITECTURAL ELEMENTS, SUCH AS BUT NOT LIMITED TO; WALLS, CEILINGS WOOD DOORS & WINDOWS, WOOD DOORS AND WINDOW FRAMES. PLEASE REFER TO PAINT SPECS ON FINISHES NOTES.

ALTERNATE B
G.C. SHALL REFINISH WINDOW GRILLES CORRESPONDING TO WINDOWS "A", "I" AS MARKED ON SHEET A-01. SEE SPECS.
G.C. IS ALSO RESPONSIBLE FOR REFINISHING THE WOODEN BALUSTRADES ON THE SECOND FLOOR BALCONY, DINNING ROOM, AND 1ST FLOOR PORCH.
G.C. SHALL BE RESPONSIBLE FOR CLEANING AND REMOVING VEGETATION ON THE ENTIRE ROOF AND ROOF TILES.

NEW METAL RAILING TOP RAIL.
REFER TO SHEET A-02.1, PHOTO #8609
FOR ADDITIONAL INFORMATION.

NEW PROPOSED
WOOD DOORS. SEE
SHEET A-06.

FLOOR FINISH SHALL BE
SWEEPED AND MOPPED.

ALT. B: REFINISH WOODEN
BALUSTRADE. SEE SPECS.

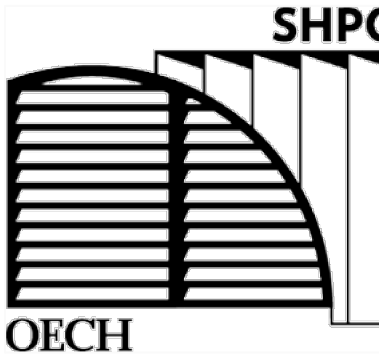
RESTORATION SECOND FLOOR PLAN & TOWER

scale: 1/4"=1'-0" (if printed on 24"x36")

0 5 10 15 20



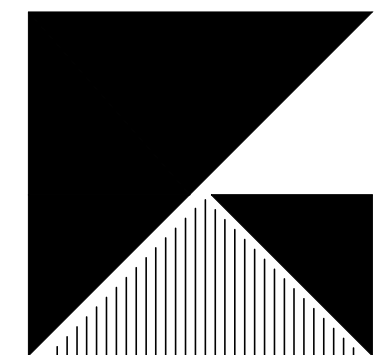
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EL CORTIJO
BARRANQUITAS, PUERTO RICO

Architect of Record:
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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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SHEET TITLE AND NUMBER:

A-02

RESTORATION
SECOND FLOOR PLAN & TOWER

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BY: V.M.V. DATE: APR 14, 2023

PHOTO #1169 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE AND REPLACE EXISTING WOOD WINDOW ON KITCHEN MKD "L" WITH NEW. | WINDOW CURTAINS SHALL BE REMOVED, CLEANED, STORED AND REINSTALLED. | SEE WINDOW DETAILS, SCHEDULE AND NOTES FOR ADDITIONAL IMPORTANT INFORMATION.

PHOTO #8599 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE EXISTING DOOR AND FRAME ON WOOD DOOR MKD "33" FOR NEW. | EXISTING DOOR HARDWARE, SHALL BE REMOVED, REFINISHED AND REINSTALLED ON NEW DOOR. | REFER TO DOOR NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

PHOTO #8647 / REFER TO FLOOR PLAN.



G.C. SHALL REFINISH BALUSTRADE. | BEFORE PROCEEDING, G.C. SHALL TAKE GENERAL AND CLOSE UP IMAGES OF BALUSTRADE'S CURRENT CONDITIONS FOR A/E REVIEW. | ENTIRE RAILING AND BALUSTERS SHALL BE THOROUGHLY SCRAPPED FROM EXISTING PAINT BEFORE REPAINTING, SEE SPECS. | FOR WOOD REPAIR INSTRUCTIONS SEE SPECS. | THIS REPAIR BELONGS TO ALTERNATE B.

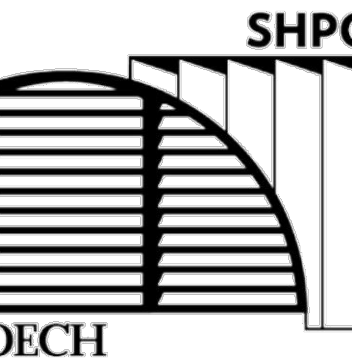
PHOTO #8609 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE ENTIRE CORRODED TOP RAIL AND REPLACE WITH NEW MATCHING EXISTING SHAPE, QUALITY, MATERIAL, FINISH, SIZE AND DIMENSION. | G.C. SHALL MAKE SURE METAL BALUSTERS ARE IN GOOD CONDITIONS. IF ANY BALUSTER IS DAMAGED AND/OR CORRODED, IT SHALL BE REPLACED BY NEW MATCHING EXISTING DESIGN. | SEE FINISH NOTES FOR ADDITIONAL INFORMATION.



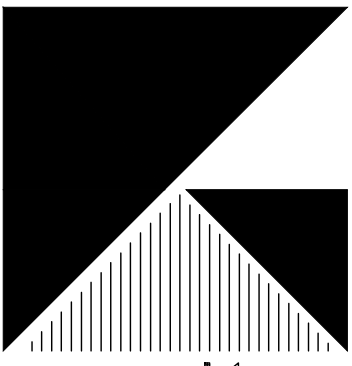
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Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A - 02.1
RESTORATION PHOTOS
2ND, 3RD & 4TH FLOOR

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BY: V.M.V. DATE: APR 14, 2023

PHOTO #8681 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE EXISTING DOOR AND FRAME ON WOOD DOOR MKD "39" FOR NEW. | EXISTING DOOR HARDWARE, SHALL BE REMOVED, REFINISHED AND REINSTALLED ON NEW DOOR. | REFER TO DOOR NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

PHOTO #8684 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE EXISTING DOOR AND FRAME ON WOOD DOOR MKD "38" FOR NEW. | EXISTING DOOR HARDWARE, SHALL BE REMOVED, REFINISHED AND REINSTALLED ON NEW DOOR. | REFER TO DOOR NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

PHOTO #8706 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE EXISTING METAL RAILING & BALUSTERS FOR NEW. | NEW RAILING & BALUSTERS DESIGN SHALL BE EQUAL IN MATERIAL, QUALITY, SHAPE, SIZE AND DIMENSION TO THE VERTICAL ELEMENTS LOCATED AT THE MAIN STAIR RAILING. | G.C. SHALL PROVIDE SHOP DRAWING BEFORE MANUFACTURING. | LEAD-BASED PAINT FOUND ON METAL RAILING ACCORDING TO LBP REPORT. G.C. SHALL BE RESPONSIBLE FOR FOLLOWING PROPER LEAD ABATEMENT PROCEEDURE.

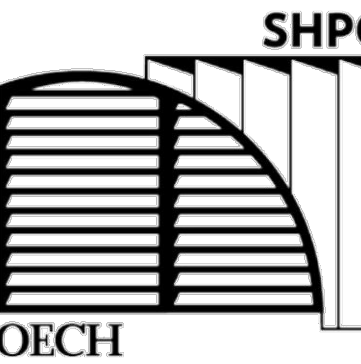
PHOTO #1138 / REFER TO FLOOR PLAN.



DAMAGED PORTION OF DECORATIVE TILES SHALL BE CAREFULLY REMOVED (TILE BY TILE), WITHOUT DAMAGING THEM. DAMAGED WALL AREAS TO BE REPAIRED ARE MARKED ON SHEET A-02, THESE ARE LIMITED TO THE PORTION OF THE WALL THAT IS NOT FLAT. | G.C. SHALL EXPLORE WALL DAMAGE, FIX ACCORDINGLY AND REINSTALL CERAMIC TILES. | NEW GROUT SHALL MATCH EXISTING GROUT. | THIS REPAIR BELONGS TO ALTERNATE A.| SEE SPECS. | LEAD-BASED PAINT FOUND ON CERAMIC WALL TILES & PAINTED SURFACE ACCORDING TO LBP REPORT. G.C. SHALL BE RESPONSIBLE FOR FOLLOWING PROPER LEAD ABATEMENT PROCEEDURE.



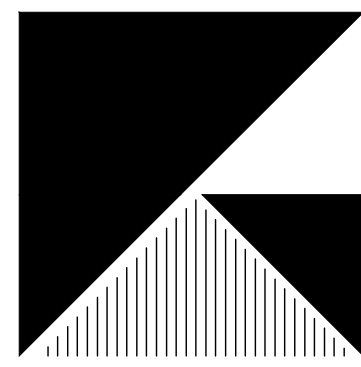
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EL CORTIJO
BARRANQUITAS, PUERTO RICO

Architect of Record:
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PROFESSIONAL TEAM:

Victor M. Villegas
Cristina Ballester
Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:
A - 02.2
RESTORATION PHOTOS
2ND, 3RD & 4TH FLOOR

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BY: V.M.V. DATE: APR 14, 2023

/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - ESHPF-HIM/PROYECTOS/01-14-21-02 EL CORTIJO/PLANOS/A-03.1 RESTORATION

PHOTO #1132/ REFER TO FLOOR PLAN.



G.C. SHALL INSTALL NEW COPPER GUTTER AND DOWNSPOUTS AND CONNECT THEM TO THE EXISTING SYSTEM THAT LEADS TO THE EXIST. CISTERN. | REFER TO ELEVATIONS AND ROOF IN ORDER TO PROPERLY LOCATE GUTTERS AND DOWNSPOUTS. | FINAL LOCATION OF GUTTERS AND DOWNSPOUTS SHALL BE DISCUSSED WITH OWNER AND ARCHITECT BEFORE PROCEEDING. | WHEN INSTALLATION OCCURS, G.C. NEEDS TO BE CAREFUL IN PROTECTING ROOF TILES. IF SOME MAY BREAK, G.C. SHALL SUBSTITUTE ACCORDINGLY. | SEE ALSO SHEETS A-04 & A-05.

PHOTO #1176/ REFER TO FLOOR PLAN.



G.C. SHALL THOROUGHLY CLEAN AND REMOVE ALL THE EXISTING ROOF VEGETATION.| CLEANING ROOF IS PART OF ALTERNATE B. | G.C. SHALL THOROUGHLY WASH ROOF TILES BY HAND VERY CAREFULLY TO NOT DAMAGE ANY MORE ROOF TILES. | G.C. SHALL APPLY ROOF TILE ADHESIVE RT600, TERRACOTTA COLOR BY OSI, OR EQUIVALENT, IN ORDER TO REPAIR ALL BROKEN DAMAGED ROOF TILES, THAT STILL HAVE AVAILABLE FITTING PIECES. | IF SOME ROOF TILES ARE BROKEN AND DO NOT HAVE ANY AVAILABLE PIECES, G.C. SHALL RECREATE BROKEN PORTION. | SEE FINISH NOTES.

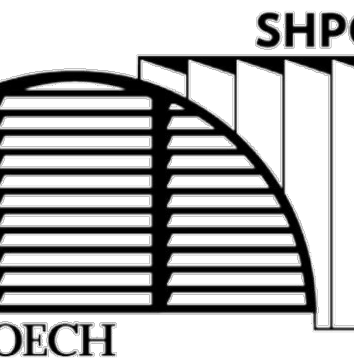
PHOTO #1229/ REFER TO FLOOR PLAN.



G.C. SHALL INSTALL EXISTING WEATHERVANE. WEATHERVANE SHALL BE RESTORED PRIOR TO INSTALLATION. TO BE DISCUSSED WITH ARCHITECT BEFORE PROCEEDING.



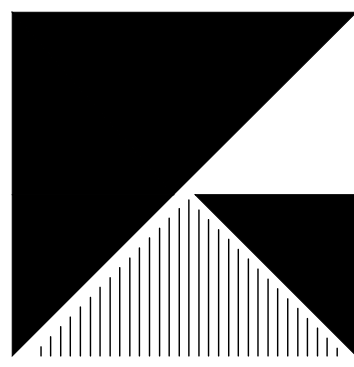
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EL CORTIJO
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PROFESSIONAL TEAM:

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Gilberto Mendoza
Elvin E. Melendez
Laurie S. Rivera

No.	Issue	Date
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GM EM CB LR	VV

SHEET TITLE AND NUMBER:

A - 03.1
RESTORATION PHOTOS
ROOF

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BY: V.M.V. DATE: APR 14, 2023

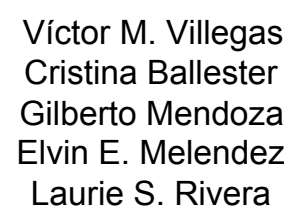
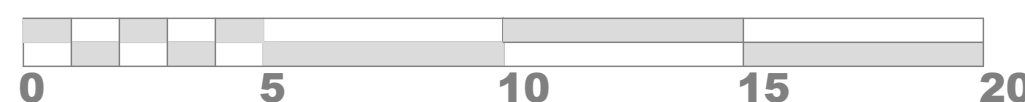
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G.C. SHALL REFINISH WINDOW GRILLES CORRESPONDING TO WINDOWS "A", "I" AS MARKED ON SHEET A-01. SEE SPECS.
G.C. IS ALSO RESPONSIBLE FOR REFINISHING THE WOODEN BALUSTRADES ON THE SECOND FLOOR BALCONY AND ON DINNING ROOM.
G.C. SHALL BE RESPONSIBLE FOR CLEANING AND REMOVING VEGETATION ON THE ENTIRE ROOF AND ROOF TILES .

G.C. SHALL CONSIDER PAINTING ALL EXTERIOR EXISTING WINDOWS AND DOORS. ALL WINDOWS AND DOORS THAT ARE TO BE NEW OR REFINISHED SHALL ALSO BE PAINTED.

SHALL CONSIDER ALL COMPONENTS FOR PROPER 6" COPPER GUTTER WITH 3 X 4 DOWNSPOUTS INSTALLATIONS SUCH AS: MITERS AT CORNERS, ELBOWS, DOWNSPOUT, GUTTER HIDDEN HANGERS , ENDCAPS, GUTTER OUTLETS, SLIP JOINT CONNECTOR, FASTENERS AND FUNNEL. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.

ELEMENTS SHOWN IN BLUE SHALL
BE NEW. SEE SPECS.



SHEET TITLE AND NUMBER

BY: V.M.V. DATE: APR 14, 2023

ALTERNATE B

G.C. SHALL REFINISH WINDOW GRILLES CORRESPONDING TO WINDOWS "A", "I" AS MARKED ON SHEET A-01. SEE SPECS.

G.C. IS ALSO RESPONSIBLE FOR REFINISHING THE WOODEN BALUSTRADES AS MARKED ON THE DRAWINGS. G.C. SHALL BE RESPONSIBLE FOR CLEANING AND REMOVING VEGETATION ON THE ENTIRE ROOF AND ROOF TILES .

EXISTING WEATHERVANE TO BE REFINISHED AND INSTALLED.
SEE SHEET A-03.1, PHOTO #1229, FOR INSTRUCTIONS.

ALL EXTERIOR-
PLASTERED
WALLS TO BE
PAINTED. SEE
SPECS.

-NEW BALUSTERS AND
RAILING. SEE SPECS.

BLUE LINES DENOTES GUTTER AND DOWNSPOUT LOCATION. FINAL LOCATION TO BE DISCUSSED WITH ARCHITECT. FOR GUTTER AND DOWNSPOUT SPECIFICATIONS SEE SHEET A-03 G.C. SHALL PROVIDE SUBMITTAL FOR ARCHITECTS REVIEWAL BEFORE ORDERING.

EXISTING WINDOWS
TO BE PAINTED. SEE
SPECS.
ALT. B: WOOD
BALUSTRADE TO BE
REFINISHED

NEW WINDOW MKD. G.
REFER TO WINDOW
SCHEDULE.

NEW WINDOW MKD.
H. REFER TO
WINDOW SCHEDULE.
ALL EXTERIOR
PLASTERED WALLS
TO BE PAINTED. SEE
SPECS.

-EXISTING WINDOW TO BE PAINTED. SEE SPECS.

- ALL EXTERIOR
PLASTERED WALLS TO
BE PAINTED. SEE
SPECS.

ALT. B: WOOD
STRADE TO BE
REFINISHED

BALUSTRADE TO BE
REFINISHED.

ALL EXTERIOR-
PLASTERED WALLS TO
BE PAINTED. SEE SPECS.

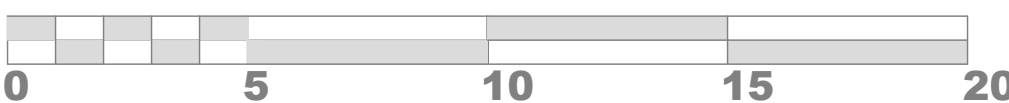
- ALL EXTERIOR ELEMENTS TO BE PAINTED. SEE SPECS.

ALL EXTERIOR
ELEMENTS TO BE
PAINTED. SEE SPECS.

ALL EXTERIOR PLASTERED WALLS TO BE PAINTED. SEE SPECS.

-EXISTING DOOR &
WINDOWS TO BE
PAINTED. SEE SPECS.

scale: $\frac{1}{4}"=1'-0"$ (if printed on 24"x36")

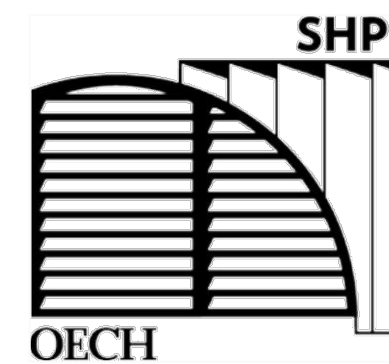


IMPORTANT NOTE:
G.C. SHALL CONSIDER PAINTING ALL EXTERIOR EXISTING WINDOWS AND DOORS. ALL WINDOWS AND DOORS THAT ARE TO BE NEW OR REFINISHED SHALL ALSO BE PAINTED.

NOTE:
ELEMENTS SHOWN IN BLUE SHALL
BE NEW. SEE SPECS.



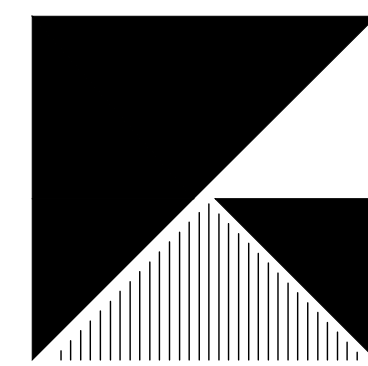
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PROFESSIONAL TEAM:

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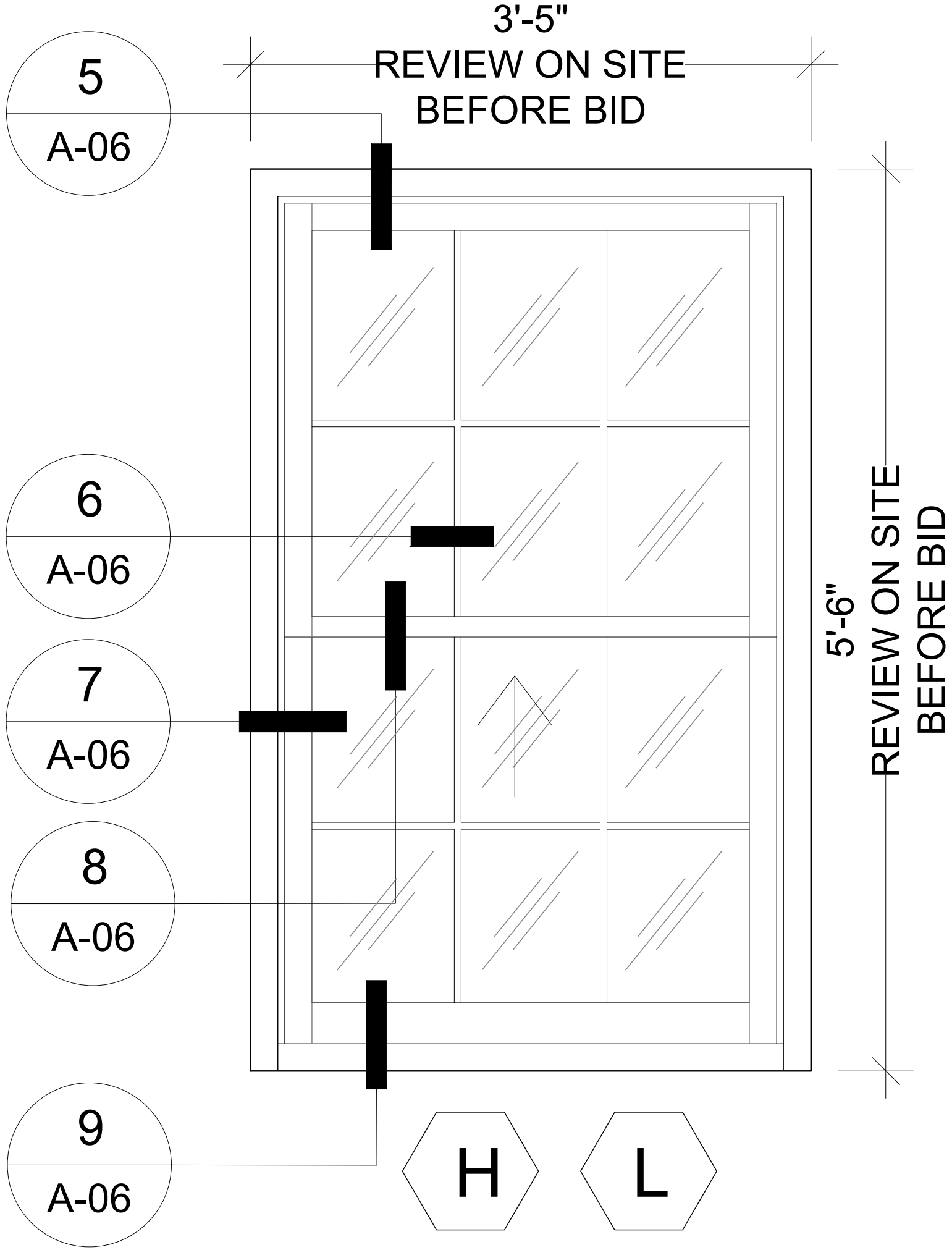
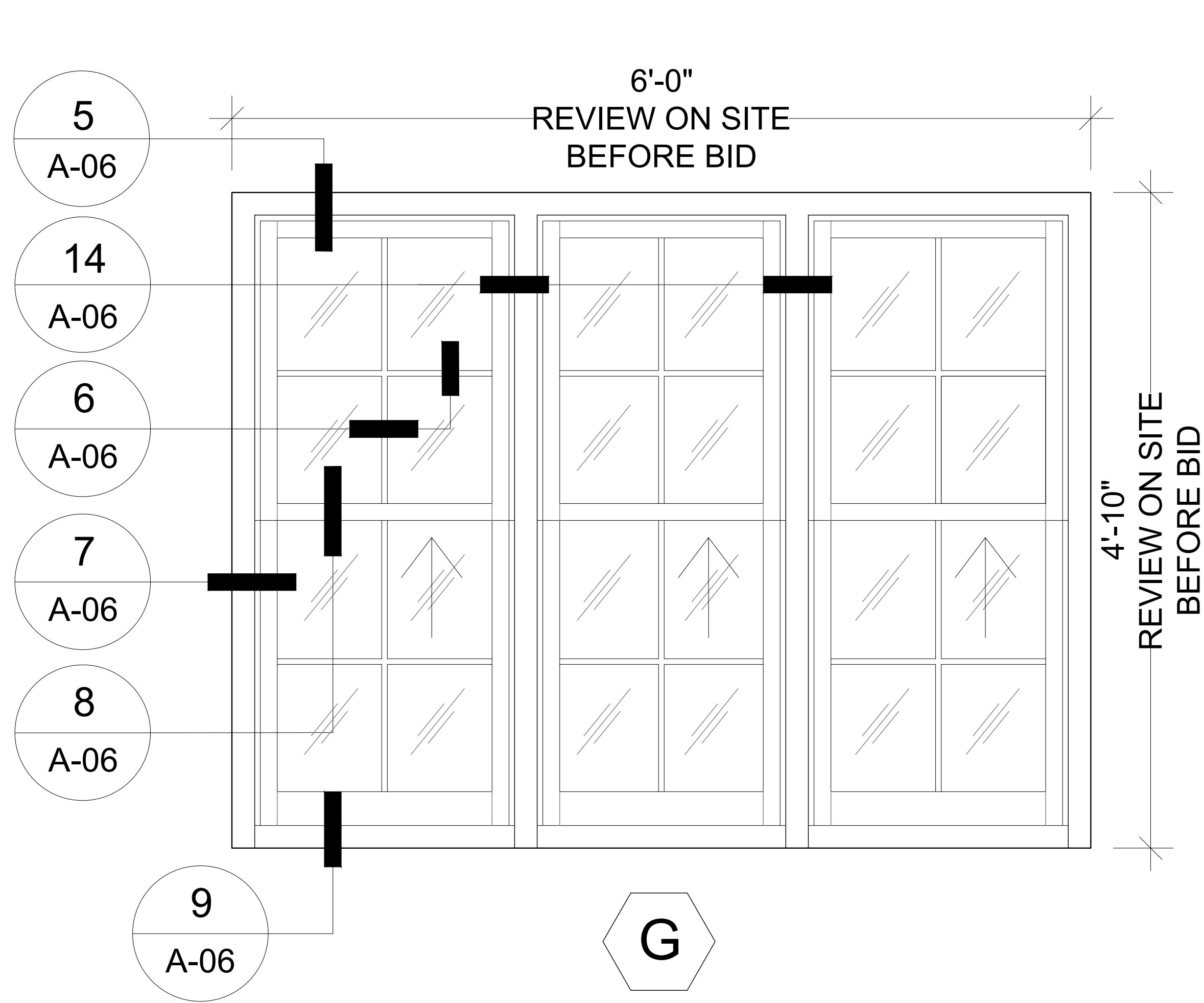
SHEET TITLE AND NUMBER

A-05

RESTORATION ELEVATION

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: APR 14, 2023



FINISH NOTES:	
1. EXISTING WOOD RESTORATION	IT IS THE INTENT THAT THE G.C. FOLLOW THE PROCEDURE BELOW FOR ALL WOODEN ELEMENTS INDICATED TO BE RESTORED ON THE CONSTRUCTION DRAWINGS WITH LIQUID WOOD BY ABATRON, OR EQUIVALENT. THE G.C. SHALL USE THESE NOTES AS A GENERAL INSTRUCTION, HOWEVER, MANUFACTURER INSTRUCTIONS ALWAYS GOVERN. MANUFACTURER INSTRUCTIONS CAN BE ACCESSED THROUGH THIS LINK: https://www.loghelp.com/images/LiquidWood-WoodEpoX-Instructions.pdf DUE TO CONTRACTORS BEING RESPONSIBLE TO CAREFULLY INSPECT THE PROPERTY AND VALIDATE THE DAMAGES SHOWN ON DWGS PRIOR TO PROVIDING THEIR BID, HE SHALL BE RESPONSIBLE TO REPAIR ALL OTHER DAMAGED WOOD PLANKS THAN THOSE MARKED IN THE CONSTRUCTION DRAWINGS. G.C IS RESPONSIBLE FOR RESTORING THOSE AS WELL AT THEIR COST. THIS IS ONLY APPLICABLE IN THE SAME GENERAL AREA OF THE RESTORATION WORK BEING DONE. GC SHALL BE RESPONSIBLE TO ASK IN WRITING IF QUESTION ARISE DURING INSPECTION AND BIDDING. G.C. MUST PROVIDE A MINIMUM OF THREE (3) ONE SQUARE FEET IDENTICAL SAMPLES OF FINISHED RESTORED WOOD ELEMENT PRIOR TO PROGRESSING WITH THE ENTIRE WORK. A/E WILL RETAIN ONE OF THESE SAMPLES. WOOD RESTORATION MATERIALS SHALL BE USED AS PER MFR RECOMMENDATIONS. A. PREPARATION INSTRUCTIONS: a. SURFACE ADHESION MAY BE IMPAIRED BY IMPROPERLY PREPARED SURFACES, WHICH MUST BE CLEANED AND DRY. OILS, GREASE, WAX, FAT, SOAP, PAINT, LUBRICANTS, LOOSE MATTER, AND MOST KINDS OF SOIL PREVENT ADHESION AND PENETRATION. b. DRY AFFECTED WOOD MEMBER COMPLETELY. IF COMPLETE DRYING IS NOT POSSIBLE IN PLACE, THE MEMBER MUST BE REMOVED AND KEPT IN A COOL, DRY PLACE UNTIL DRY. IF THIS PRECAUTION IS NOT TAKEN, THE EPOXY CAN ACTUALLY TRAP MOISTURE IN WOOD FIBERS AND ACCELERATE THE DECAY PROCESS. c. OLD PAINT SHOULD BE REMOVED. IT CAN BE SCRAPED, SANDED OR STRIPPED. STRIPPER RESIDUE SHOULD BE REMOVED. OIL, GREASE AND OTHER CONTAMINANTS CAN BE REMOVED WITH DETERGENTS, SOLVENTS OR OTHER AGENTS. MOISTURE AND WATER DIMINISH PENETRATION AND ADHESION. MOISTURE CONTENT SHOULD BE BELOW 17%. WOOD CAN BE DRIED WITH HEAT OR VENTILATION. ANOTHER METHOD TO ACCELERATE DRYING IS BRUSHING ACETONE (CAUTION: FLAMMABLE) ON THE WET SURFACE. THIS SOLVENT BLENDS WITH WATER AND ACCELERATES ITS EVAPORATION. d. ORGANIZATION AND CLEANLINESS ARE KEYS TO PROPER EPOXY REPAIR. HAVE ALL MATERIALS AT HAND BEFORE THE MIXING PROCESS BEGINS. LABEL ALL CAPS AND LIDS SO THAT A CAP OR LID IS NOT PLACED ON THE WRONG CONTAINER OR IT WILL BE STUCK THERE FOREVER. PUTTING ALL MATERIALS ASSOCIATED WITH THE OTHER ON THE RIGHT HELPS KEEP THINGS SEPARATED. PROTECT ALL ADJACENT SURFACES FROM SPILLS WITH PLASTIC SHEETING. IF ANY EPOXY HAPPENS TO SPILL, WIPE IT UP IMMEDIATELY BEFORE IT SETS OR IT WILL NOT COME UP. B. EXECUTION: a. REMOVE ANY ROTTEN/ LOOSE WOOD MATERIAL IN THE AREA TO BE RESTORED. b. DRILL 1/4" OR 3/16" HOLES IN AFFECTED WOOD TO RECEIVE EPOXY CONSOLIDANT WILL LEAK OUT FROM BEHIND. WHEN ON A VERTICAL SURFACE, ANGLE THE HOLES SO EPOXY WILL NOT LEAK BACK OUT. c. FOLLOWING MANUFACTURER'S INSTRUCTIONS, MIX A SMALL AMOUNT OF THE CONSOLIDANT COMPONENTS IN EQUAL PARTS. THE RESIN AND THE HARDENER, TOGETHER, AVOID SHALLOW OR TOO LARGE CONTAINERS. USE A SEPARATE MEASURING TOOL TO SCOOP FROM THE RESIN AND THE HARDNER TO AVOID CONTAMINATION. STIR THE MIXTURE THOROUGHLY BY HAND, ALWAYS WEARING GLOVES, OR WITH A THIN STICK. d. CAREFULLY POUR THE CONSOLIDANT INTO THE PRE-DRIILLED HOLES. THE AIM IS TO COMPLETELY SATURATE THE WOOD. MOVE FROM HOLE TO HOLE REFILLING UNTIL THE WOOD CAN HOLD NO MORE. MORE THAN ONE APPLICATION MAY BE NEEDED. e. AFTER THE CONSOLIDANT HAS CURED, THE VOIDS IN THE SURFACE CAN BE FILLED WITH EPOXY FILLER. IF THE VOIDS ARE LARGE, FILLER CAN BE APPLIED IN SUCCESSION, 1" OF DEPTH AT A TIME. THIS CUTS DOWN ON THE POSSIBILITY OF PROBLEMS ASSOCIATED WITH HEAT BUILD-UP. f. MIXING OF THE TWO-PART EPOXY FILLER IS SIMILAR TO THE CONSOLIDANT. WHEN MIXED, THE FILLER HAS THE CONSISTENCY OF A GLAZING COMPOUND AND CAN BE WORKED WITH A PUTTY KNIFE. THE SURFACE OF THE FILLER SHOULD BE BUILT UP SLIGHTLY ABOVE OF THE WOOD SURFACE TO ALLOW FOR PLANING AND SANDING SMOOTH AFTER IT HAS CURED. g. WAIT AT LEAST 24 HOURS AFTER HARDENING AND SAND LIGHTLY BEFORE PAINTING OR STAINING. h. G.C. SHALL ENSURE THAT SURFACE IS PAINTED AND/OR STAINED TO ACHIEVE A COLOR MATCH WITH THE EXISTING FLOOR. THE FINISHED PRODUCT MUST MATCH THE EXISTING, INCLUDING EMULATING THE EXISTING JOINTS IN ORDER FOR THE WORK TO PASS INCONSPICUOUSLY. i. APPLY COPPER GREEN WOOD PRESERVATIVE (https://www.homedepot.com/p/Copper-Green-1-gal-Wood-Preservative-Copper/100203025),OR EQUIVALENT, TO ALL EXISTING REPAIR & NON REPAIRED WOOD ELEMENTS AFTER THE REPAIRS HAS BEEN FINISHED. APPLY USING A MIST SPRAYER. C. WOOD REPAIR MATERIALS: USE LIQUIDWOOD, OR EQUIVALENT, FOR FILLING VOIDS IN DAMAGED WOODS. LIQUIDWOOD CONSISTS OF 2 CLEAR LIQUIDS: THE RESIN (A), AND THE HARDENER (B). WHEN A AND B ARE MIXED BY SIMPLE STIRRING, A BLEND IS FORMED WITH UNUSUAL PROPERTIES TO IMPREGNATE AND RESTORE WOOD AND OTHER POROUS MASSES. LIQUIDWOOD IS BRUSHED OR POURED ON THE SURFACE WHERE IT MUST BE ABSORBED, THE MORE POROUS THE WOOD, THE MORE RESIN IT WILL ABSORB, AND THE GREATER THE IMPROVEMENT. LIQUIDWOOD IMPREGNATES THE WOOD FIBERS AND HARDENS INTO A WATER- AND INSECT-RESISTANT, DISTORTION-FREE, HIGH-STRENGTH MASS IN HOURS OR MINUTES. THE HARDENED MASS CAN BE SAWED, PLANED, ROUTED, CARVED, DRILLED, SANDED, GLUED AND PAINTED. ADHESIVE WOOD EPOXY BY ABATRON, OR EQUIVALENT, FOR STRUCTURAL RECONSTRUCTION OF WOOD. USE WOOD EPOXY IS A LIGHT-WEIGHT STRUCTURAL WOOD ADHESIVE PUTTY SYSTEM AND WOOD SUBSTITUTE CONSISTING OF 2 COMPONENTS: RESIN PASTE (A) AND HARDENER PASTE (B). WHEN A AND B ARE MIXED, THE BLEND HARDENS WITHIN 1-2 HOURS INTO A LIGHTER-THAN-WATER NON-SHRINKING, TOUGH ADHESIVE MASS WITH HIGH DIMENSIONAL STABILITY, CHEMICAL, WATER, HEAT AND WEATHER RESISTANCE. ITS APPEARANCE IS A LIGHT NEUTRAL COLOR THAT CAN BE CHANGED, WHILE MIXING, WITH STAINS, DYES OR PIGMENTS. IT HAS A NO-SLUMP PASTE CONSISTENCY THAT ALLOWS IT TO BE APPLIED LIKE PUTTY TO FILL GAPS, HOLES, OR TO BUILD UP VIRTUALLY ANY THICKNESS AND SHAPE. BOTH PRODUCTS ARE PRODUCED BY ABATRON, INC. PLEASE SELECT THE FOLLOWING LINK FOR THE WOOD REPAIR MATERIALS: https://www.abatron.com/product/wood-restoration-kit/ .
2. REPAIRED CERAMIC WALL TILE	REPAIRED OR REPLACED CERAMIC WALL TILES AT KITCHEN SHALL MATCH EXISTING. DECORATIVE WALL TILES THAT HAVE BEEN REMOVED ACCORDING TO IMAGE 1138 ON SHEET A-02.2 OF THE CONSTRUCTION DRAWINGS SHALL BE CAREFULLY REINSTALLED "IN KIND". SPECIAL ATTENTION MUST BE HAD, AS THE PATTERN DURING REINSTALLMENT SHALL BE THE SAME AS WAS EXISTING. IN CASE ANY TILES ARE DAMAGED DURING THE WORK, THE G.C. SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT WHICH SHALL MATCH THE EXACT CHARACTERISTICS OF THE ORIGINAL TILE. G.C. SHALL ENSURE SURFACE IS PREPARED PRIOR TO INSTALLING THE TILE. NO TILE SHALL BE INSTALLED IF SURFACE HAS WATER FILTRATIONS.
3. PAINT- EXISTING EXTERIOR WALL	COMPLETE EXTERIOR WALL SURFACES SHALL BE PAINTED. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT. SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE EXTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED. IF THE EXISTING EXTERIOR WALL IS WOOD OR PLASTER, IT SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. ALL EXTERIOR PARAPETS, IF ANY, SHALL BE PAINTED ON BOTH SIDES (EXTERIOR & INTERIOR). GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE AT LEAST (10) TEN DIFFERENT 10X8" SAMPLES OF SELECTED COLORS ON WALLS FOR ARCHITECT'S EVALUATION. CONTRACTOR SHALL REQUEST THE ARCHITECT COLOR AND WALLS WERE SAMPLES ARE REQUESTED.
4. PAINT - EXISTING INTERIOR WALL & CEILING	PAINT SHALL BE APPLIED ACCORDING TO CONSTRUCTION DRAWINGS. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT. SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE INTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED. ALL WALLS & PLASTER CEILINGS, UNLESS OTHERWISE SPECIFIED, SHALL BE SPRAY PAINTED EGGSHELL GLIDDEN ONE COAT INTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. WOOD CEILINGS SHALL BE PAINTED WITH PAINT SUITABLE FOR WOOD. GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE AT LEAST (10) TEN DIFFERENT 10X8" SAMPLES OF SELECTED COLORS ON WALLS AND CEILINGS FOR ARCHITECT'S EVALUATION. CONTRACTOR SHALL REQUEST THE ARCHITECT COLOR AND WALLS WERE SAMPLES ARE REQUESTED.
5. PAINT -EXISTING EXTERIOR METAL ELEMENTS	CONTRACTOR MUST PREPARE ALL METAL SURFACES BY CLEANING AND APPLYING RUST OLEUM MATHYS METAL CLADDING PRIMER, OR EQUIVALENT, PRIOR TO PAINT. SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE EXTERIOR METAL ELEMENTS ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED. AFTER THE PRIMER, IT SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. G.C. SHALL USE AN AIRLESS SPRAY PAINTER TO ACHIEVE THE CORRECT FINISH, USING MANUFACTURER RECOMMENDATIONS.

CONT. FINISH NOTES:	
6. PAINT AND REFINISHING OF WOOD DOORS/WINDOWS/BALUSTER/RAILING	SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED TO THEM AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE EXTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. ENCOUNTERS THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED. WOOD SURFACES OF DOORS, WINDOWS, AND BALUSTERS SHALL BE REFINISHED ACCORDING TO THE CONSTRUCTION DRAWINGS. HOWEVER, ALL EXTERIOR WOOD ELEMENTS SHALL BE PAINTED EVEN IF NOT REFINISHED. DOORS / WINDOWS/ BALUSTERS SHALL BE SANDED AND CLEANED IN PREPARATION FOR REPAINTING. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT. THE EXTERIOR WOODEN ELEMENT SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. A SAMPLE AREA SHALL BE REFINISHED PRIOR TO PROGRESSING WITH THE WORK FOR ARCHITECT APPROVAL. CARE SHALL BE TAKEN TO PROTECT ALL MATERIALS FROM THE NEGATIVE EFFECTS OF TEMPERATURE, RELATIVE HUMIDITY, AND HANDLING. THE G.C. SHALL BE RESPONSIBLE TO PROTECT MATERIALS FOR CARE AND MOISTURE CONSIDERATIONS BEFORE, DURING, AND AFTER INSTALLATION. G.C. OR THEIR SUBCONTRACTOR IN CHARGE OF WOODWORKING MUST FOLLOW AMI STANDARDS. https://www.cwinet.org/standards/standards-overview WHEN WORKING WITH WOOD BALUSTRADE, G.C. SHALL FOLLOW ANSI/AWI SMA 0643-2021 -WOOD STAIR, HANDRAIL, AND GUARD SYSTEMS STANDARDS.
7. PAINT & NEW WOOD BALUSTRADES	ALL NEW WOODEN BALUSTRADES SHALL BE OF MAHOGANY WOOD. ALL NEW WOODEN ELEMENTS SHALL BE SPRAY PAINTED WITH SATIN GLIDDEN HIGH ENDURANCE PLUS EXTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. A SAMPLE AREA SHALL BE PAINTED PRIOR TO PROGRESSING WITH THE WORK FOR ARCHITECT APPROVAL. CARE SHALL BE TAKEN TO PROTECT ALL MATERIALS FROM THE NEGATIVE EFFECTS OF TEMPERATURE, RELATIVE HUMIDITY, AND HANDLING. THE G.C. SHALL BE RESPONSIBLE TO PROTECT MATERIALS FOR CARE AND MOISTURE CONSIDERATIONS BEFORE, DURING, AND AFTER INSTALLATION.
8. NEW COPPER GUTTER & ACCESSORIES	EXISTING GUTTER SHALL BE REMOVED IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PORTIONS OF THE GUTTER THAT WILL BE REMOVED TO BE AS INSTRUCTED IN THE CONSTRUCTION DRAWINGS. CONTRACTOR SHALL USE GUTTERSUPPLY TYPE -K GUTTER 6"COPPER, SERIAL NO. COKGX6XC16x16oz, OR EQUIVALENT / LENGTH TO BE AS SHOWN ON CONSTRUCTION DRAWINGS. G.C. SHALL USE THE FOLLOWING COMPONENTS WHEN INSTALLING A COPPER GUTTER FOR A ROOF FROM GUTTERSUPPLY MANUFACTURER, OR EQUIVALENT: OUTLET WIDE FLANGE, SERIAL NO. COKX34CXWF, 3X4 REC. OUTLET-WIDE FLANGE, COPPER / OFFSET CONNECTOR - 2"FROM WALL, SERIAL NO. C00FS34C15X, 3X4 OFFSET (2"), COPPER 16oz / HIDDEN HANGER, SERIAL NO. BRKHHC6B060, 6K HIDDEN HANGER W/ CLIP, BRASS / END CAP, SERIAL NO. COLHE6XC16X, 6K HIGHBACK LEFT END CAP, 16 oz COPPER, RIGHT, / DOWNSPOUT, SERIAL NO. C0DSX34C1620, 3X4, 20FT, COPPER 16oz / DOWNSPOUT ELBOW TYPE-B, SERIAL NO. C0BEX34C16X, 3X4, COPPER 16 oz / DOWNSPOUT ELBOW TYPE-A, SERIAL NO. C0AEX341645, 3X4, COPPER 45 deg / CORNER MITTER CONNECTOR, SERIAL NO. C00BM6XCXXX / 6K OUTSIDE BOX MITTER, COPPER / BRIGHTON DOWNSPOUT BRACKET, SERIAL NO. C0DSSBRIG34, 3X4 BRIGHTON DS STRAP, COPPER. G.C. SHALL USE THE FOLLOWING COMPONENTS WHEN INSTALLING A COPPER GUTTER FOR A ROOF FROM AQUABARREL MANUFACTURER, OR EQUIVALENT: FUNNELS TYPE-Y, SERIAL NO. B07M1ND1CP, 3X4X10-1/2 WIDE, 8
9. CLAY ROOF TILE RESTORATION	ALL EXISTING ROOF VEGETATION IS TO BE REMOVED WITHOUT AFFECTING THE INTEGRITY OF THE TILES. BROKEN ROOF TILES ARE TO BE REPAIRED USING OSI RT600 10-LF OZ TERRACOTTA (IDH 1810372) ROOF TILE CONSTRUCTION ADHESIVE, OR EQUIVALENT. THIS PROCESS WILL BE DONE IF THE PORTION OF THE TILE THAT WAS BROKEN OFF IS FOUND. THIS BROKEN PORTION OF THE TILE WILL BE JOINED TO THE REMAINING TILE. PRODUCT SHALL BE USED FOLLOWING MANUFACTURER RECOMMENDATIONS. IF A PORTION OF THE TILE IS MISSING, FILL AREA USING REINFORCEMENT MESH AND CEMENT PLASTER. TILES THAT ARE FILLED USING REINFORCEMENT MESH AND CEMENT PLASTER SHALL BE STAINED TO MATCH THE COLOR OF THE EXISTING TILE. IF ANY NEW TILES ARE TO BE USED IN THE RESTORATION, THESE SHALL BE SUBMITTED FOR THE ARCHITECT'S EVALUATION BEFORE PROGRESSING WITH THE WORK. AS PART OF ALTERNATE E, AFTER ROOF TILE RESTORATION WORK IS COMPLETED, G.C. SHALL USE ECOSEAL CONCRETE TILE ROOF WATERPROOFING SYSTEM, OR EQUIVALENT. G.C. SHALL FOLLOW MANUFACTURER RECOMMENDATIONS.WATERPROOFED AREAS SHALL BE FINISHED WITH PAINT TO MATCH HE COLOR OF THE ORIGINAL TILE. G.C. SHALL ENSURE THAT THE PAINT IS APPROVED BY WATERPROOFING MANUF. AND IS COMPATIBLE WITH THE WATERPROOFING MATERIAL.
10. ALUMINUM GRILLE RESTORATION	ALUMN. GRILLES SHALL BE RESTORED AS SPECIFIED IN THE CONSTRUCTION DRAWINGS. GRILLE FINISH/COLOR MUST MATCH EXISTING. ANY NEW MATERIAL TO BE USED IN THE RESTORATION SHALL BE SUBMITTED FOR THE ARCHITECT'S EVALUATION BEFORE. G.C. SHALL RESTORE A SMALL PORTION OF THE GRILLE AND IS EXPECTED TO PRESENT IT TO THE ARCHITECT FOR APPROVAL PRIOR TO PROGRESSING WITH THE WORK.

SUBMITTAL NOTES:	
1.	CONTRACTOR SHALL DELIVER TO THE DESIGNATED INSPECTOR AND ARCHITECT, PRIOR TO OR AT THE PRE-CONSTRUCTION CONFERENCE, A PRELIMINARY SUBMITTALS SCHEDULE (SUBMITTAL LOG) OF ALL REQUIRED SUBMITTALS, SHOP DRAWINGS, SAMPLES, TECHNICAL DATA FOR FABRICATED MATERIALS AND EQUIPMENT SPECIFICATIONS FOR A/E APPROVAL.
2.	SUBMITTAL LOG SHALL INCLUDE (BUT NOT LIMITED TO) PROJECT'S NAME AND NUMBER, REVISION DATE, SUBMITTAL'S NUMBER, TITLE OR DESCRIPTION, DATE DELIVERED, DATE RECEIVED, DATE REJECTED, DATE APPROVED AND COMMENTS, IF ANY. IN ORDER TO FACILITATE ARCHIVING AND DOCUMENTS ADMINISTRATION, THE STANDARDIZATION OF THE SUBMITTALS NAMES AND IDENTIFICATION NUMBERS IS RECOMMENDED.
3.	G.C. SHALL INCLUDE IN SUBMITTAL LOG THE ANTICIPATED INITIAL PRESENTATION DATE OF EACH SUBMITTAL..
4.	SUBMITTALS SHALL BE NUMBERED ACCORDING TO SUBMITTAL LOG.
5.	CONTRACTOR SHALL REVISE, COMMENT, APPROVED, SIGN AND SEAL ALL SUBMITTALS BEFORE DELIVERY FOR INSPECTOR AND A/E REVISION. NO SUBMITTAL WILL BE CONSIDERED IF IT COMES WITHOUT CONTRACTOR'S SIGN AND SEAL, CONFIRMING THAT HE OR SHE HAS REVIEWED THE SUBMITTAL AND THAT THE SUBMITTED ITEM OR ITEMS ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6.	THE DESIGNATED INSPECTOR BY THE OWNER HAS THE RESPONSIBILITY TO REVISE AND COMMENT ON ALL SUBMITTAL CONTENT TO VERIFY THAT THE INFORMATION INCLUDED IS COMPLETE AND PRECISE BEFORE DELIVERING IT FOR A/E APPROVAL. NO SUBMITTAL WILL BE CONSIDERED BY A/E IF IT COMES WITHOUT INSPECTOR'S REVISION.
7.	CONTRACTOR SHALL CAREFULLY CONTROL HIS PROCUREMENTS OPERATIONS TO ENSURE THAT EACH INDIVIDUAL SUBMITTAL IS MADE ON OR BEFORE THE CONTRACTOR'S SCHEDULED SUBMITTAL DATE SHOWN ON THE APPROVED SUBMITTAL LOG.
8.	GENERAL CONTRACTOR IS REQUIRED TO ALLOW SUFFICIENT TIMING FOR SUBMISSION, REVIEW, SHIPMENT AND MANUFACTURING OF ALL PRODUCTS, MATERIALS AND/OR EQUIPMENT. PRODUCTS AND/OR MATERIALS UNAVAILABILITY OR STOCK SHORTER DO NOT RELIEVE THE GENERAL CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
9.	SUBSTITUTIONS OF MATERIALS BASED ON THE SOLE REASON OF SHORTER ARRIVAL TIME WILL NOT BE CONSIDERED BY THE A/E REGARDLESS OF THE TIME INCREASE THIS MAY CAUSE. PENALTIES FOR THE CONTRACTOR. GENERAL CONTRACTOR SHALL PLAN TIMING OF SUBMITTALS DELIVERY WITH ALL SUB-CONTRACTORS AND THEIR SUPPLIERS.
10.	ALL SUBMITTALS SHALL BE RECEIVED BY THE A/E NO LATER THAN FORTY FIVE (45) CALENDAR DAYS AFTER ORDER TO PROCEED. AFTER THAT DATE, IT WILL BE THE ARCHITECT'S OFFICE PREROGATIVE TO ACCEPT OR REJECT ALL OR ANY SUBMITTAL CONTAINING SPECIFIED EQUIVALENT PRODUCTS. CONTRACTOR SHALL PROVIDE AND INSTALL MATERIALS ACCORDING TO CONSTRUCTION DOCUMENTS SPECIFICATIONS.
11.	SUBMITTALS SHALL INCLUDE ITEMS SUCH AS: CONTRACTOR'S, MANUFACTURER'S OR FABRICATOR'S DRAWINGS (SHOP DRAWINGS), DESCRIPTIVE LITERATURE INCLUDING (BUT NOT LIMITED TO) CATALOG CUTS, DIAGRAMS, OPERATING CHARTS OR CURVES, TEST REPORTS, SAMPLES, CERTIFICATIONS, WARRANTIES, AND OTHER SUCH REQUIRED INFORMATION.
12.	G.C. IS RESPONSIBLE FOR THE SUBMITTALS TO BE WITH MARKS, NOTES AND INDICATIONS, THAT PROPERLY IDENTIFIES ALL THE INFORMATION RELATED TO THE SUBMITTED PRODUCT AND OR MATERIAL, SUCH AS BUT NOT LIMITED TO MODEL, SIZE, PERFORMANCE, AND FINISHES.
13.	A/E WILL NOT CONSIDER SUBMITTALS WITH INCOMPLETE INFORMATION NECESSARY TO IDENTIFY THE SUBMITTED PRODUCT, INCLUDING, BUT NO LIMITED TO PRODUCTS, MODEL, NUMBER, SERIES, ACCESSORIES, COLOR, FINISH AND OTHER CHARACTERISTICS THAT VARIES THE PRODUCT SPECIFICATION.
14.	AT A MINIMUM G.C. SHALL PROVIDE SUBMITTALS (SAMPLE, SHOP DRAWING, AND/OR DATA SHEET) FOR: 14.1. ALL NEW MATERIALS THAT WILL BE INSTALLED; 14.1.1. SAMPLE AND SHOP DRAWING OF THE CROWN MOLDINGS, FLOOR BASES, WALL TRIMS, AND DOOR CASINGS. 14.1.2. WOOD SIDING PANNELS 14.1.3. FLOORS AND CEILINGS 14.1.4. LIGHTING FIXTURES 14.1.5. GUARDRAILS AND HANDRAILS 14.1.6. BATHROOMS ACCESSORIES 14.1.7. BATHROOMS EQUIPMENTS 14.1.8. STAIRS 14.1.9. DRY WALL PANELS 14.1.10. PAINTS 14.1.11. TILES 14.1.12. HARDWARE 14.1.13. DOORS & WINDOWS 14.1.14. MILLWORK 14.1.15. WATER PROOFING MEMBRANES 14.1.16. OTHERS
15.	CONSTRUCTION DRAWINGS SHALL NOT BE DIRECTLY USED AS PART OF ANY SUBMITTAL OR SHOP DRAWINGS. CONTRACTOR SHALL PRODUCE OR DEVELOP ORIGINAL SHOP DRAWINGS FOR THIS PROJECT. IN ANY CASE ELECTRONIC DWG OR DXF FILES WILL BE PROVIDED BY ARCHITECTS TO THE CONTRACTOR.
16.	ALL SAMPLES, MATERIAL INFORMATION AND SHOP DRAWINGS SHALL BE PREPARED SPECIFICALLY FOR THIS PROJECT. SHOP DRAWINGS SHALL BE DRAWN TO SCALE, INCLUDING DIMENSIONS AND DETAILS, SHOWING ADJACENT CONSTRUCTION AND RELATED WORK. NOTE ANY SPECIAL COORDINATION REQUIRED. NOTE ANY DEVIATIONS FROM REQUIREMENTS OF CONTRACT DOCUMENTS.
17.	THE A/E REVIEW OF SUBMITTALS WILL BE ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS AND SEE IF THEY CONFORM TO THE DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR DETERMINING THE ACCURACY OF MEASUREMENTS AND COMPLETENESS OF DETAILS, VERIFYING QUANTITIES AND CHECKING FABRICATION OR INSTALLATION PROCEDURES. THE A/E REVIEW WILL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.
18.	ADDITIONAL SUBMITTALS MAY BE REQUIRED TO THOSE SPECIFIED WHEN DEEMED NECESSARY TO ADEQUATELY DESCRIBE THE WORK COVERED IN THE TECHNICAL SPECIFICATIONS, IT MAY INCLUDE SAMPLES, SHOP DRAWINGS AND/OR TECHNICAL DATA, WITH NO CONTRACT COST CHANGE.
19.	ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.
20.	ANYTIME A SAMPLE IS REQUIRED, G.C. SHALL SUBMIT A TOTAL OF (3) SAMPLES. (1) IS TO BE SUBMITTED TO THE ARCHITECT, (1) IS TO BE SUBMITTED TO THE STATE HISTORIC PRESERVATION OFFICE, AND (1) IS TO BE KEPT AT THE PROJECT SITE.
21.	ALL SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL TO ARQUITECTOVILLEGAS@ARQUITEG.COM AND ARO.BALLESTER@ARQUITEG.COM
22.	A/E = ARCHITECT/ENGINEER

NOTE:
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.

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NATIONAL PARK SERVICE



SHPO

OECH

STATE HISTORIC PRESERVATION OFFICE
OFFICE OF THE GOVERNOR

EL CORTIJO
BARRANQUITAS, PUERTO RICO

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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la inversión por la industria puertorriqueña"; con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia y/o sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OPR.

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GM EM CB LR	vv

SHEET TITLE AND NUMBER:

A-07

FINISHES & SUBMITTAL NOTES

ISSUE FOR BIDDING
NOT FOR CONSTRUCTION

By: V.M.V. Date: APR 14, 2023

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NOTE:
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.

LEAD - BASED PAINT GENERAL NOTES:

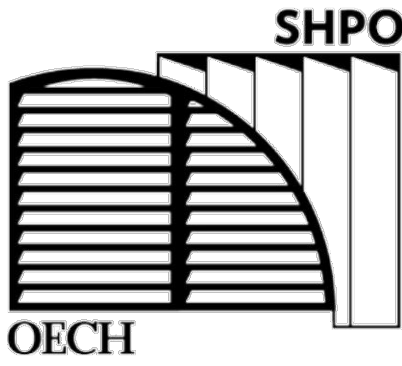
- LEAD-BASED COATINGS WERE IDENTIFIED ON SUBSTRATES OF THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL. PROJECT MAY INCLUDE ENCAPSULATION ABATEMENT OF LEAD-BASED PAINT, REMOVAL AND DISPOSAL OF BUILDING MATERIALS COATED WITH LEAD-BASED PAINT, AND DISTURBANCE OF LEAD-BASED PAINT USING LEAD-SAFE WORK PRACTICES.
- RELATED PROJECT DOCUMENTS:
A. LEAD-BASED PAINT SURVEY REPORT BY ZIMMETRY ENVIRONMENTAL.
B. SPECIFICATION SECTION 02 83 19 LEAD BASED PAINT ABATEMENT.
- THE CONTRACTOR SHALL BE AWARE OF ALL DIVISION 02 SPECIFICATION REQUIREMENTS.
- THE LOCATIONS OF IDENTIFIED LEAD-BASED PAINT ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTIFY.
- THE CONTRACTOR SHALL BE AWARE OF ALL CONDITIONS OF THE PROJECT AND IS RESPONSIBLE FOR VERIFYING QUANTITIES AND LOCATIONS OF ALL WORK TO BE PERFORMED. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF ITS OBLIGATION TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.
- BEFORE STARTING THE WORKS, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
- BEFORE ORDERING, THE ENVIRONMENTAL CONTRACTOR MUST SUBMIT THE MATERIALS THAT THEY PROPOSE TO USE FOR ENCAPSULATION.
- ONCE THE CONTRACTOR HAS SUBMITTED HIS WORK PLAN AND APPROVAL OF THE MATERIALS TO BE USED, HE MUST PREPARE A 3' x 3' SAMPLE OF HOW THE FINAL WORK WOULD LOOK LIKE. THE CONTRACTOR MUST BEAR IN MIND THAT WE ARE WORKING ON PROJECTS OF HISTORICAL VALUE AND THEREFORE MUST BE CAREFUL NOT TO CAUSE DAMAGE TO THE INTEGRITY OF THE SUBSTRATE MATERIALS, WHETHER THEY ARE WOOD, METALS OR CEMENTITIOUS MATERIALS.
- ACTIVITIES IMPACTING HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING 'OFF-HOURS'.
- MULTIPLE MOBILIZATIONS MAY BE REQUIRED TO PERFORM THE WORK IDENTIFIED IN THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER OR DESIGNATED OWNER'S REPRESENTATIVE.
- THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS ASSOCIATED WITH THIS PROJECT.
- ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVE(S).
- OTHER COATINGS WHICH CONTAIN LEAD AT CONCENTRATIONS LOWER THAN THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DEFINITION OF LBP ARE PRESENT WITHIN THE CONTRACT WORK AREAS. THESE COATINGS MAY BE REFERRED TO AS LEAD-CONTAINING PAINT OR PAINT CONTAINING LEAD. DISTURBANCE OF LEAD CONTAINING PAINT CAN RESULT IN LEAD-EXPOSURE TO WORKERS AND OCCUPANTS. REFER TO THE ENVIRONMENTAL SURVEY FOR LEAD-BASED PAINT REPORT BY ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC. DATED AUGUST 2020 FOR ADDITIONAL DETAILS ON THE TYPE AND LOCATION OF LEAD-CONTAINING PAINT. DISTURBANCE OF LEAD-CONTAINING PAINT SHALL BE PERFORMED IN ACCORDANCE WITH THE UNITED STATES OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) LEAD IN CONSTRUCTION STANDARD 29 CFR 1926.62 AND ALL OTHER APPLICABLE OSHA HEALTH AND SAFETY REGULATIONS.

LEAD - BASED PAINT ABATEMENT:

- PROJECT DESCRIPTION - A LEAD-BASED STUDY PREPARED FOR THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL INDICATES THAT THE PROPERTY HAS LEAD-BASED PAINT ON MANY ELEMENTS. THE GENERAL CONTRACTOR SHOULD BE FAMILIAR WITH SUCH STUDY WHICH HAS BEEN INCLUDED IN THE TECHNICAL SPECIFICATIONS OF THE PROJECT.
- BACKGROUND -THROUGHOUT THE LAST DECADES THESE BUILDING HAVE BEEN SUBJECTED TO SEVERAL RENOVATIONS AND IMPROVEMENTS. MANY OF THE CONSTRUCTION MATERIALS USED IN THE EARLY PHASES OF CONSTRUCTION AND REMODELING PROJECTS USED LEAD CONTAINING MATERIALS, SUCH AS CERAMIC, WALL PAINT, BATHROOM APPLIANCES AND OTHERS. TO PROCEED WITH THE INTENDED RENOVATION, THE GC SHALL ABATE THESE MATERIALS FOLLOWING FEDERAL AND STATE GUIDELINES.
- PROJECT SAFETY REQUIREMENTS -TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF GENERAL CONTRACTOR, SUBCONTRACTOR AND SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.
- ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.
- SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. - LEAD ABATEMENT SHALL FALLS WITHIN NESHAP REGULATIONS.
- TO ACHIEVE ABATEMENT AND BEFORE STARTING, THE ENVIRONMENTAL SUB-CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
- LEAD-BASED ABATEMENT PERMIT - THE SPECIFIC WORK PLAN WILL BE PART OF OTHER DOCUMENTATION THAT SHALL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES THE GC. WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECTS EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORS, HYGIENISTS, LABORATORIES, TRANSPORTES, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.
- COMMUNICATIONS - A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. SUCH PROGRAM INCLUDES BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.
- ALL PROJECT PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL TO BE HANDLING THE HARZADOUS MATERIALS HAVE TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND
- VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.
- OTHER SPECIFICS - THE AREAS WILL EXHAUST ITS AIR THROUGH A VACUUM WITH HEPA FILTER THAT WILL STORE ANY DEBRIS WITHIN ITS CANISTER. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.
- DECONTAMINATION - THE DECONTAMINATION WILL CONSIST IN WEARING A DOUBLE DISPOSABLE SUIT. WITHIN THE MINI ENCLOSURE THE EMPLOYEE WILL REMOVE OUTER SUIT BEFORE EXITING, A DECON ATTENDANT WILL PROCEED TO VACUUM THE INNER SUIT WHILE THE EMPLOYEE IS STILL WEARING IT. AFTER THAT SUIT IS VACUUMED, THEN THE EMPLOYEE CAN REMOVE THE SUIT AND CONTINUE WITH UNDERNEATH STREET GARMENTS. IF THERE IS ANY GENERATED WATERS IT WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM.
- GENERATED WASTE - ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACESSEING THE BASEMENT. CLP SAMPLING OF THIS WASTE WILL BE COLLECTED AND ANALYZED TO DETERMINE FINAL WASTE SITE. NORMALLY RESULTS NON-HAZARDOUS AND WILL BE TRANSPORTED TO A LEGAL LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.
- FINAL CLEARANCE - THESE AREAS AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR OUTDOORS, FINAL CLEARANCE MUST COMPLY WITH 400 PPM FOR LEAD. COMPLIANCE WITH PARAMETER WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.
- PROJECT DOCUMENTATION - ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.



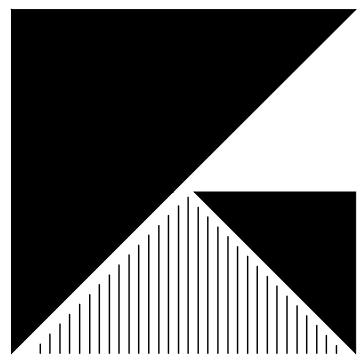
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BARRANQUITAS, PUERTO RICO

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GM EM	VV

SHEET TITLE AND NUMBER:

A-07.1

LEAD BASED PAINT ABATEMENT NOT

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BY: V.M.V. DATE: FEB 17, 2023

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